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**WOODLAND / PACIFIC**  
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NO	DATE	ISSUE

Project No: 18030  
 Issued: SITE PLAN APPROVAL  
 Issue Date: 08-16-2018  
 Revision Date: 12-17-2018

**DRAWING TITLE**  
**COVER SHEET**

Scale  
**DRAWING NUMBER**  
**A-000**

**SITE PLAN APPROVAL**



# HARBOR POINT BLOCK T2

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Project No 18030  
 Issue: SITE PLAN APPROVAL  
 Issue Date: 08-18-2018  
 Revision Date: 12-17-2018

DRAWING TITLE  
**DRAWING LIST**  
 DRAWING NUMBER  
**A-001**

DRAWING NUMBER	HARBOR POINT BLOCK T2	SITE PLAN APPROVAL
GENERAL:	COVER	DATE: 12/17/2018
A-000	DRAWING LIST	12/17/2018
A-001	TABULATIONS	12/17/2018
A-002	BUILDING VIEWS	12/17/2018
A-003	RENDERING AND PARTIAL PLAN	12/17/2018
A-004	STREET VIEWS	12/17/2018
A-005	STREET VIEWS	12/17/2018
A-006	SECTION DIAGRAM	12/17/2018
A-010	GROUND FLOOR SETBACK PLAN	12/17/2018
A-011	GREEN DESIGN	12/17/2018
A-012	GROUND FLOOR PLAN	12/17/2018
A-101	2ND FLOOR PLAN	12/17/2018
A-102	3RD-4TH FLOOR PLAN	12/17/2018
A-103	5TH FLOOR PLAN	12/17/2018
A-104	6TH FLOOR PLAN	12/17/2018
A-105	7TH-15TH FLOOR PLAN	12/17/2018
A-106	16TH-19TH FLOOR PLAN	12/17/2018
A-107	20TH-22ND FLOOR PLAN	12/17/2018
A-108	ROOF PLAN	12/17/2018
A-109	BUILDING ELEVATIONS	12/17/2018
A-201	BUILDING ELEVATIONS	12/17/2018
A-202	BUILDING ELEVATIONS	12/17/2018
A-203	BUILDING ELEVATIONS	12/17/2018
A-204	BUILDING ELEVATIONS	12/17/2018
A-301	BUILDING SECTIONS	12/17/2018
A-302	BUILDING SECTIONS	12/17/2018
A-303	BUILDING SECTIONS	12/17/2018
A-310	CORNICE & DETAILS	12/17/2018







# SITE PLAN APPROVAL



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 Fax Number: 281-356-5179  
 Contact: Steve Baker, P.E.  
 Email: sbaker@woodland.com

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 COMMONS PARK SOUTH  
 11 Woodland Blvd., Suite 200  
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**DATE**  
 08/16/2018

**SCALE**  
 AS SHOWN

**DRAWN BY**  
 J. B. BAKER

**CHECKED BY**  
 S. BAKER

**DATE**  
 08/16/2018

**SCALE**  
 AS SHOWN

**DRAWN BY**  
 J. B. BAKER

**CHECKED BY**  
 S. BAKER

**DATE**  
 08/16/2018

**SCALE**  
 AS SHOWN

**DRAWN BY**  
 J. B. BAKER

**CHECKED BY**  
 S. BAKER

**DATE**  
 08/16/2018

**SCALE**  
 AS SHOWN

**DRAWN BY**  
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**CHECKED BY**  
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NO.	DATE	ISSUE

Project No	18030
Issued SITE PLAN APPROVAL	08-16-2018
Issue Date	08-16-2018
Revision Date	12-17-2018

**DRAWING TITLE**  
**BUILDING**  
**VIEWS**

**SCALE**  
 DRAWING NUMBER  
**A-003**



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 Woodland Pacific LLC, et al

PROJECT NO. 18030  
 ISSUED: SITE PLAN APPROVAL  
 ISSUE DATE 06-11-2018  
 REVISION DATE 12-17-2018

DRAWING TITLE  
**RENDERINGS & PARTIAL PLAN**

Scale  
 DRAWING NUMBER  
**A-004**

NO DATE ISSUE

NO DATE ISSUE

NO DATE ISSUE

NO DATE ISSUE

NO DATE ISSUE

NO DATE ISSUE

NO DATE ISSUE

NO DATE ISSUE

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NO DATE ISSUE

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NO DATE ISSUE

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NO DATE ISSUE



**PACIFIC STREET VIEW & PARTIAL FLOOR PLAN**



**SITE PLAN APPROVAL**



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 License No. 13652  
 Contract No. 2015-120-179  
 Date: 12/17/2016

PACIFIC STREET VIEW 2



PACIFIC STREET VIEW 1

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 CONTRACT # 2016  
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Project No. 16030  
 Issued SITE PLAN APPROVAL  
 Issue Date: 08-16-2016  
 Revision Date: 12-17-2016

**STREET VIEW**

Scale  
 DRAWING NUMBER  
**A-005**

1  
PACIFIC STREET VIEW



2  
PACIFIC STREET VIEW



**SITE PLAN APPROVAL**

Scale  
DRAWING NUMBER  
**A-006**

DRAWING TITLE  
**STREET VIEW**

Project No 180330  
Issued SITE PLAN APPROVAL 05-18-2018  
Issue Date  
Revision Date 12-17-2018

NO DATE ISSUE

VICTOR MARCOTECHNIK  
LICENSE NO. 8612  
FIRM ID # ARC 0000220  
COMMENTS PER  
WOODLAND PACIFIC  
12/17/2018



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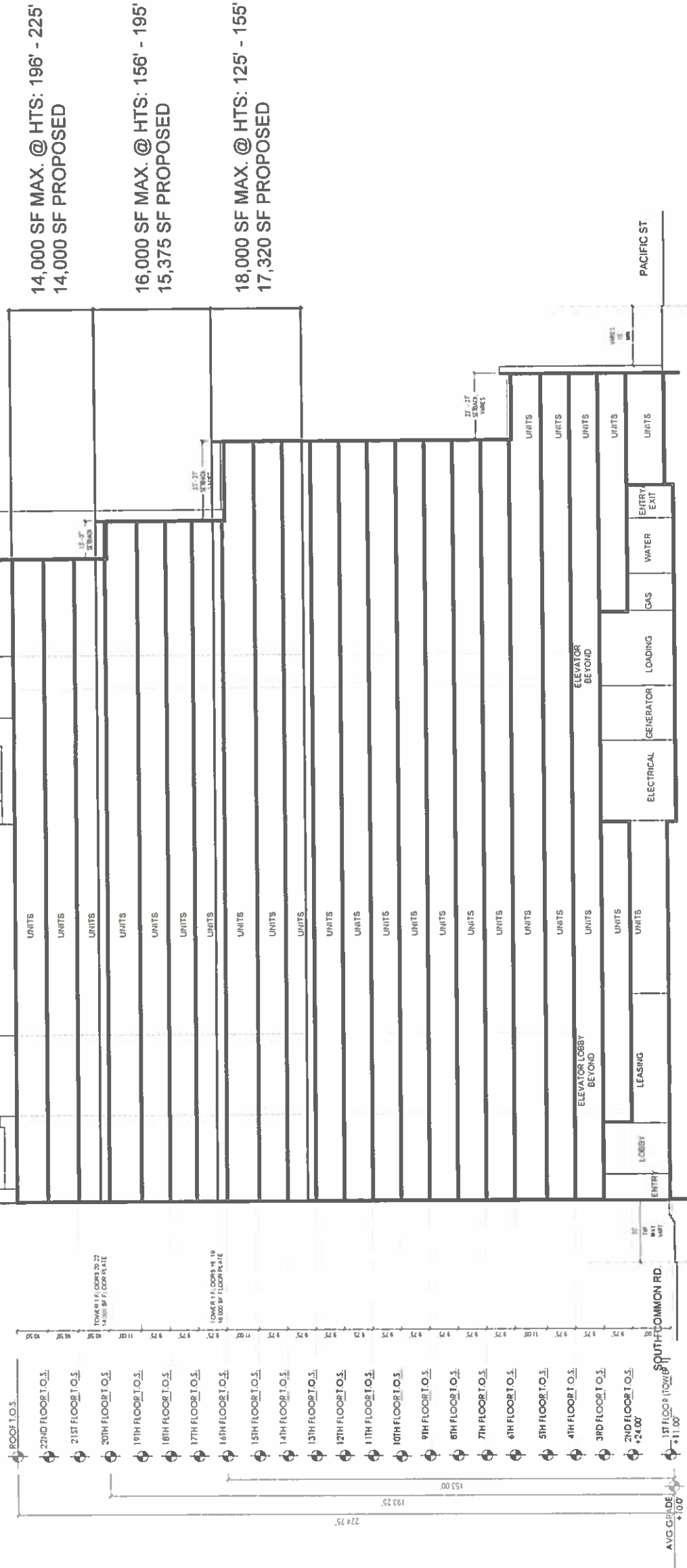
NO	DATE	ISSUE

Project No: 18030  
Issued: SITE PLAN APPROVAL  
Issue Date: 08-16-2018  
Revision Date: 12-17-2018

DRAWING TITLE  
**SECTION DIAGRAM**

Scale  
DRAWING NUMBER  
**A-010**

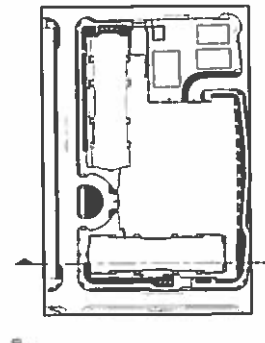
# SITE PLAN APPROVAL



14,000 SF MAX. @ HTS: 196' - 225'  
14,000 SF PROPOSED

16,000 SF MAX. @ HTS: 156' - 195'  
15,375 SF PROPOSED

18,000 SF MAX. @ HTS: 125' - 155'  
17,320 SF PROPOSED



Scale: 0 10' 20' 40'  
BUILDING SECTION SCALE 1/8"=1'-0"  
1





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Professional Seal  
No. 10-11366  
Project No. 18030  
Contract No. 18030-1  
Contract Description: Civil  
Contract Start Date: 12/17/2018

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NO	DATE	ISSUE

Project No: 18030  
Issued SITE PLAN APPROVAL: 08-16-2018  
Issue Date: 08-16-2018  
Revision Date: 12-17-2018

DRAWING TITLE:  
**GROUND FLOOR SETBACK PLAN**

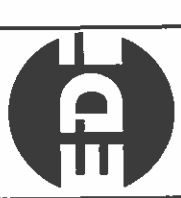
DRAWING NUMBER:  
Scale

A-011

**SITE PLAN APPROVAL**



GROUND FLOOR PLAN SCALE: 1/8"=1'-0" 1



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EXPIRES 12/31/2018  
EXPIRES 12/31/2018

PROJECT NO. 18030

ISSUE DATE 08-16-2018

REVISION DATE 12-17-2018

DRAWING TITLE

GREEN DESIGN

Scale

DRAWING NUMBER

A-012

**SITE PLAN APPROVAL**

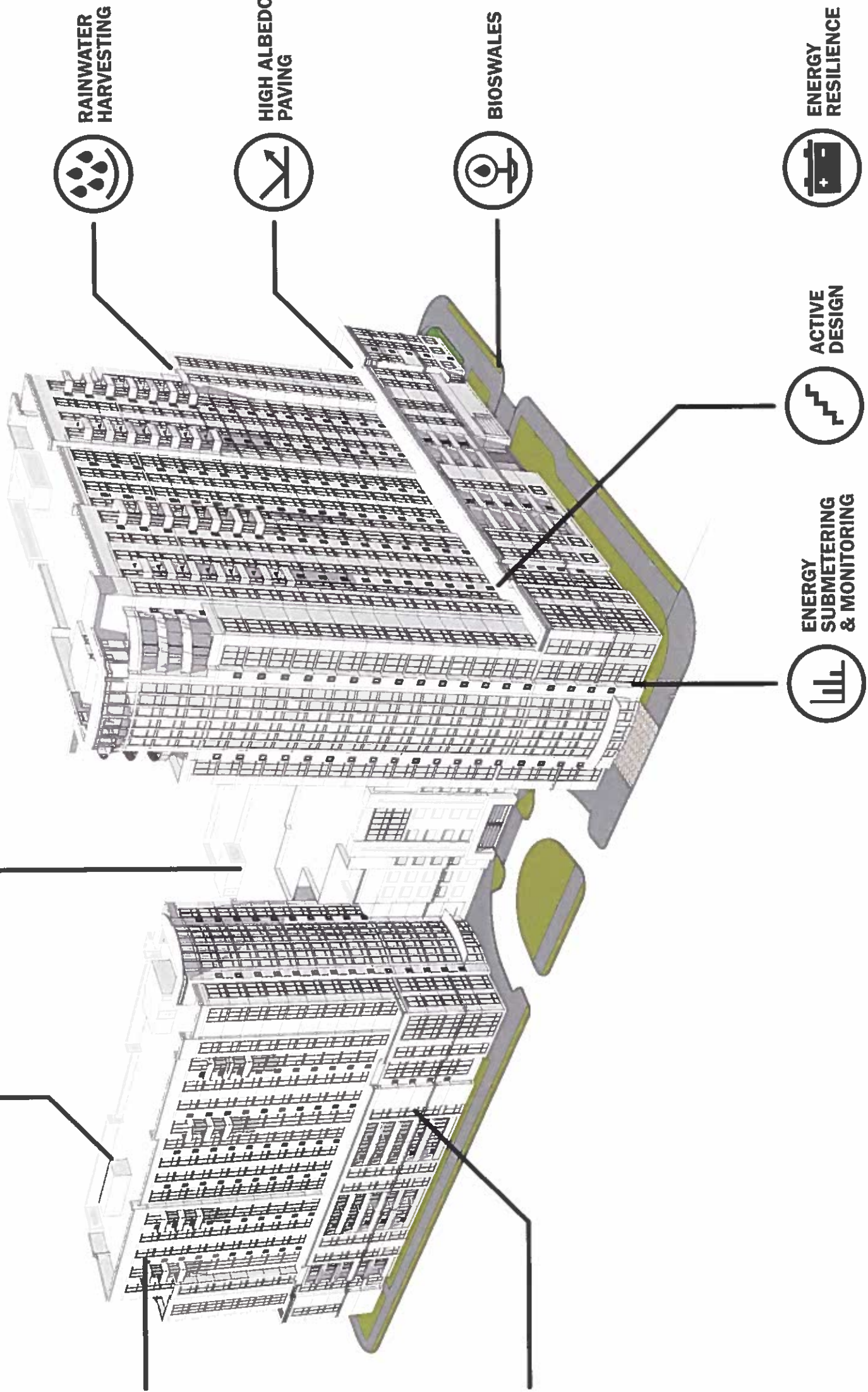
**ENVELOPE**

- DOUBLE GLAZED WINDOWS
- ROBUST DETAILING
- AIR TIGHT
- HIGHLY INSULATED ENVELOPE
- BUILDING ORIENTATION & FORM

**APARTMENT**

- INDIVIDUAL TENANT CONTROLS
- ENERGY EFFICIENT APPLIANCES
- LOW V.O.C. PAINT
- WATER SAVING FIXTURES

- ENERGY RECOVERY
- GREEN ROOF
- HEALTHY BUILDING



- RAINWATER HARVESTING

- HIGH ALBEDO PAVING

- BIOSWALES

- ENERGY RESILIENCE

- ACTIVE DESIGN

- ENERGY SUBMETERING & MONITORING



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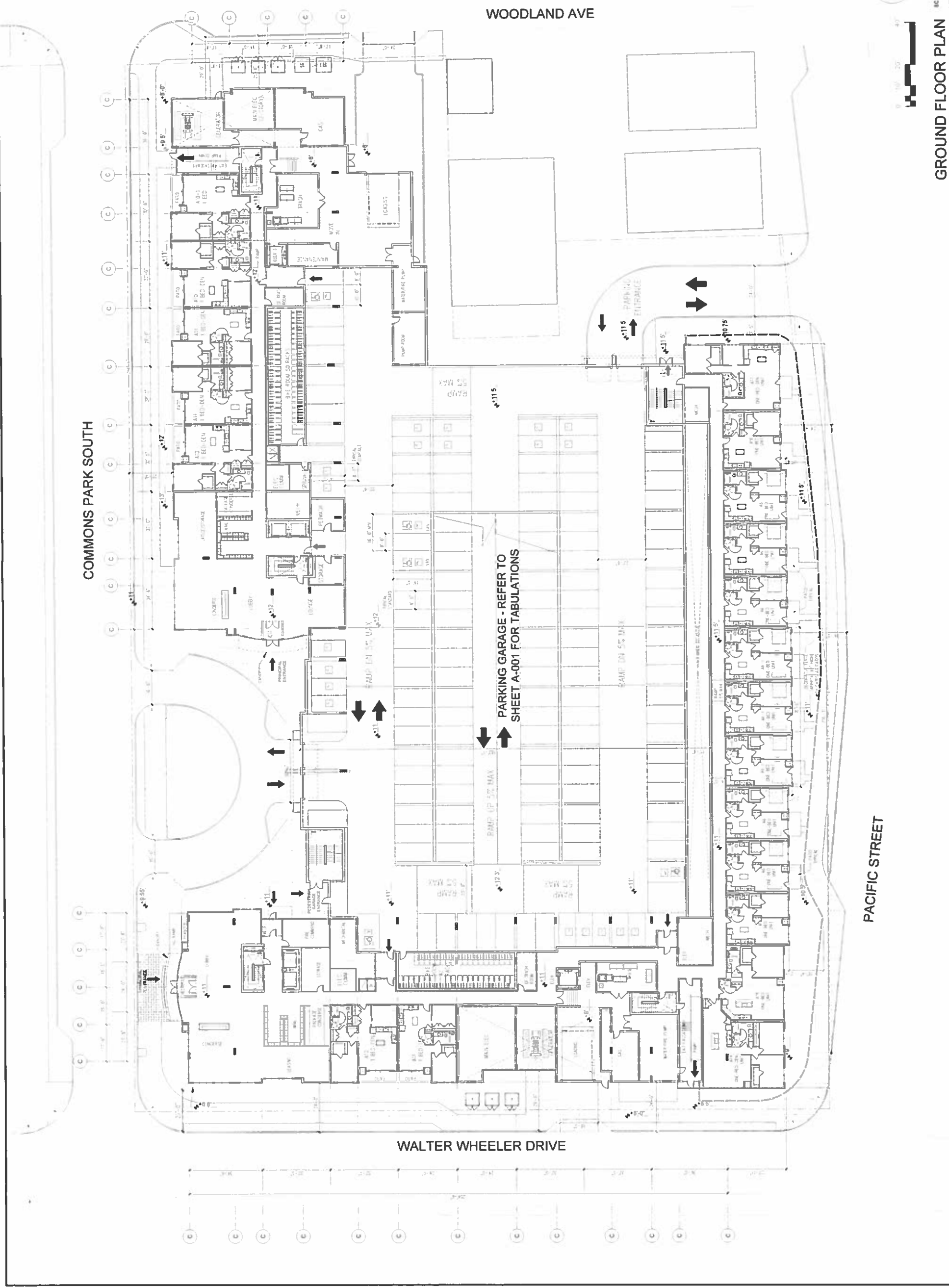
NO.	DATE	ISSUE

Project No. 18030  
Issued SITE PLAN APPROVAL  
Issue Date 09-19-2018  
Revision Date 10-25-2018

DRAWING TITLE  
**GROUND FLOOR PLAN**

Scale  
DRAWING NUMBER  
**A-101**

**SITE PLAN APPROVAL**



COMMONS PARK SOUTH

WOODLAND AVE

PACIFIC STREET

WALTER WHEELER DRIVE

GROUND FLOOR PLAN SCALE 1"=30' 1



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Contract No. 2012-001798  
Case No. 2012-001798

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NO	DATE	ISSUE

Project No. 18030  
Issued SITE PLAN APPROVAL 08-15-2018  
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Revision Date 12-17-2018

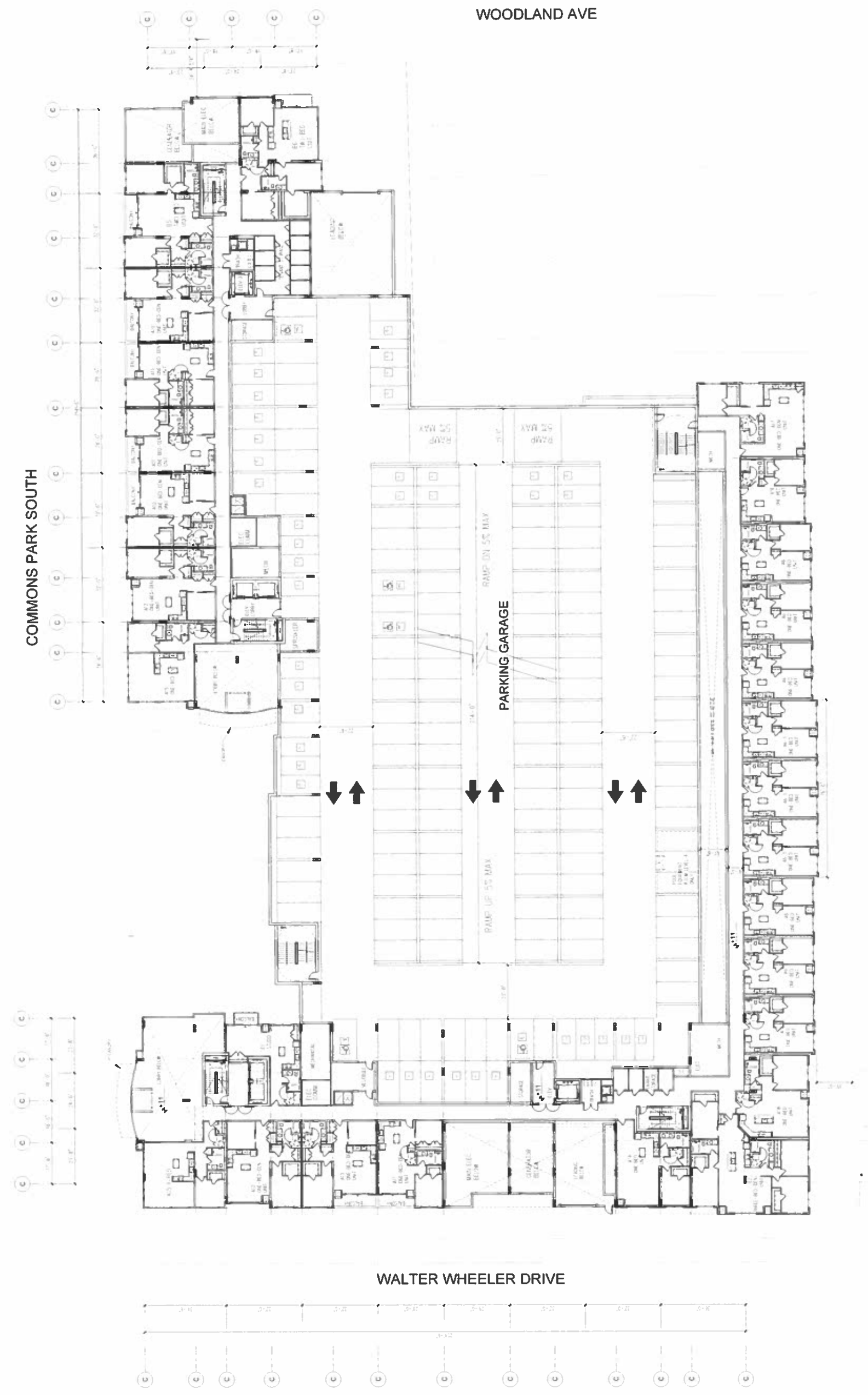
DRAWING TITLE  
**2ND FLOOR PLAN**

Scale  
DRAWING NUMBER  
**A-102**

**SITE PLAN APPROVAL**



2ND FLOOR PLAN SCALE 1/8"=1'-0" 1





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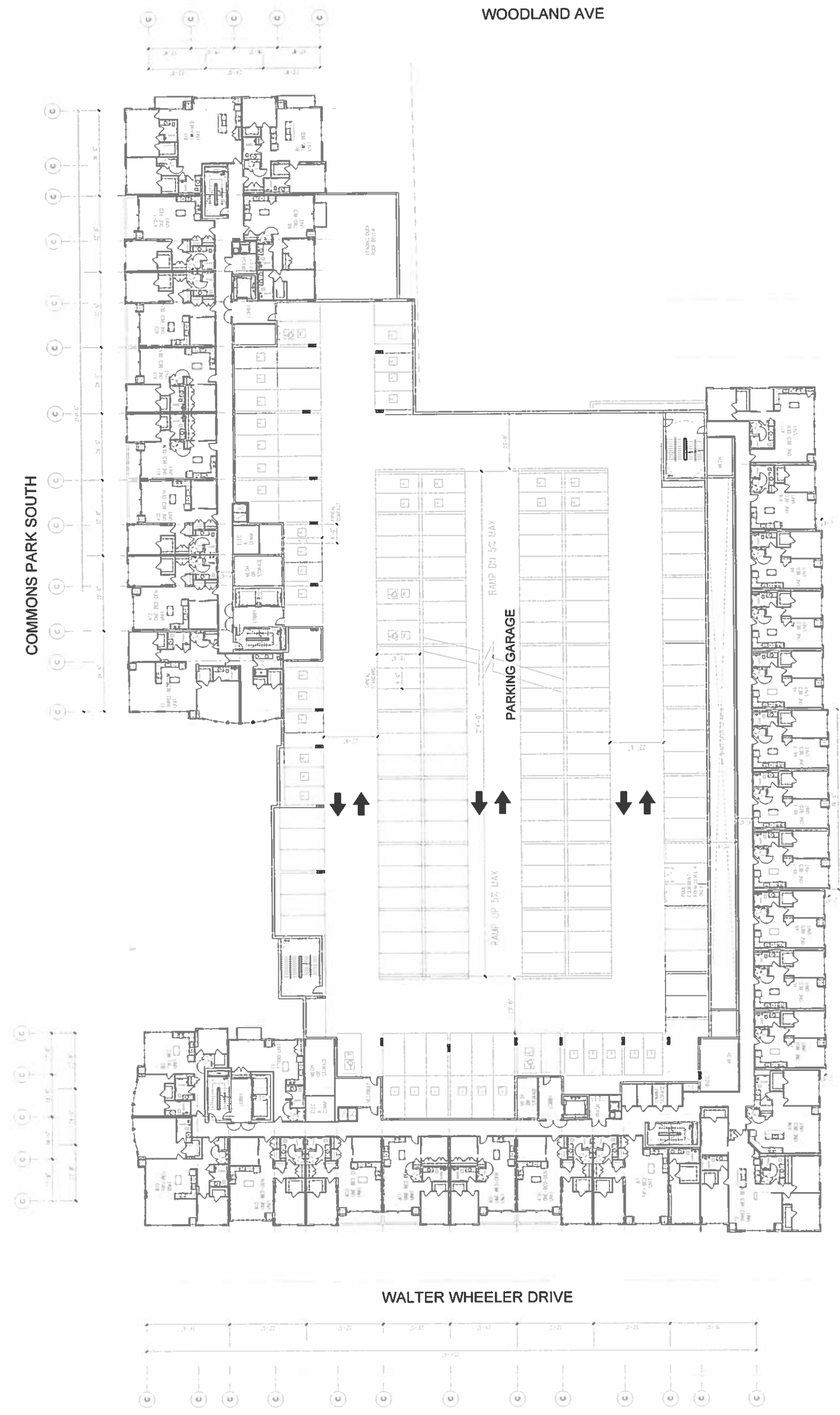
NO.	DATE	REVISION

Project No: 18030  
 Issued SITE PLAN APPROVAL  
 Issue Date: 08-16-2018  
 Revision Date: 12-17-2018

DRAWING TITLE  
**3RD FLOOR PLAN**  
 Scale

DRAWING NUMBER  
**A-103**

**SITE PLAN APPROVAL**



PACIFIC STREET

3RD & 4TH FLOOR PLAN SCALE 1/32" = 1'



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**DATE:**  
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 09-15-2018

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 PROJECT NO. 18030

NO.	DATE	ISSUE

Project No. 18030  
 Issued: SITE PLAN APPROVAL  
 Issue Date: 09-15-2018  
 Revision Date: 12-17-2018

**5TH FLOOR PLAN**  
 DRAWING NUMBER  
**A-104**

**SITE PLAN APPROVAL**



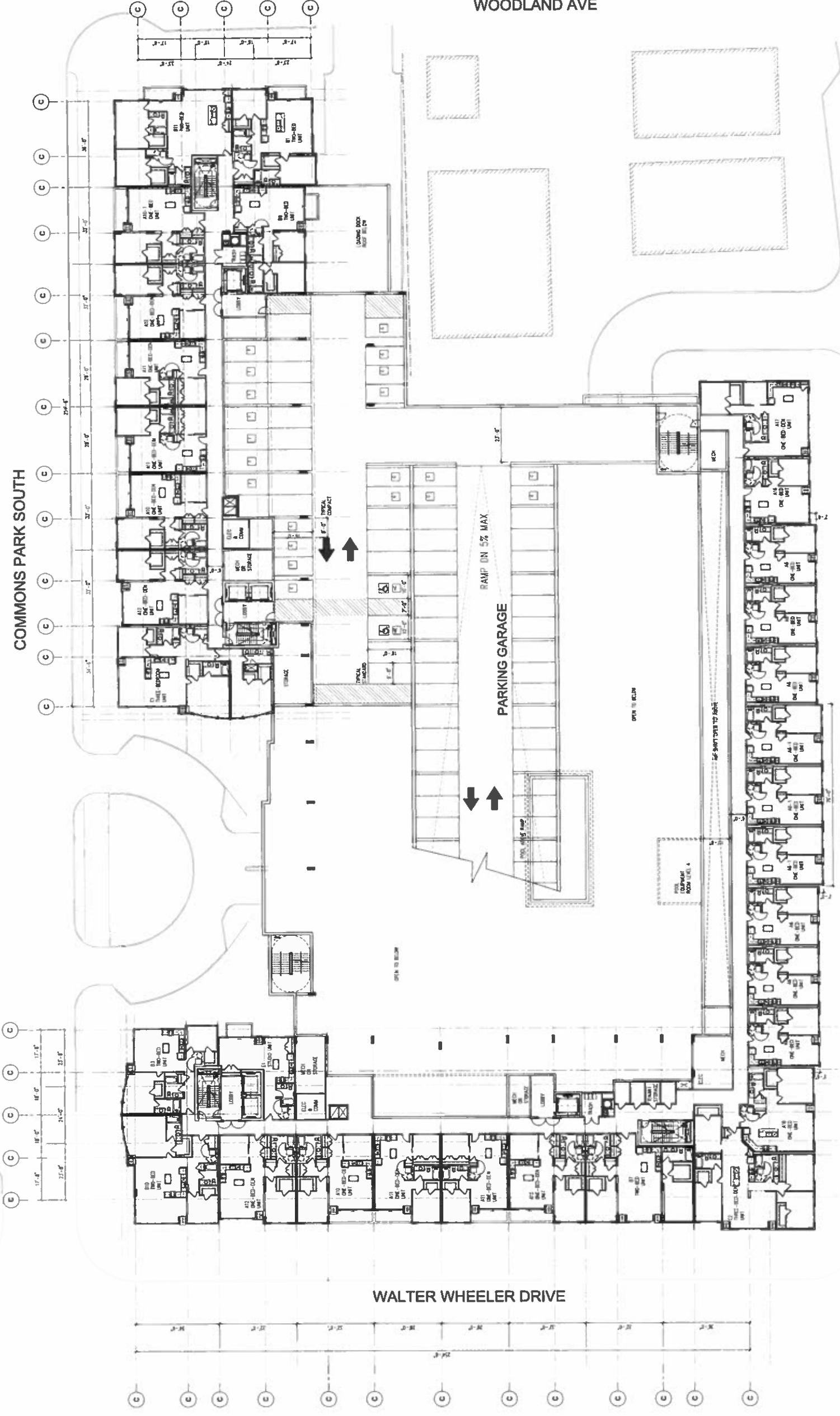
5TH FLOOR PLAN SCALE 1/8"=1'-0" 1

COMMONS PARK SOUTH

WOODLAND AVE

WALTER WHEELER DRIVE

PACIFIC STREET

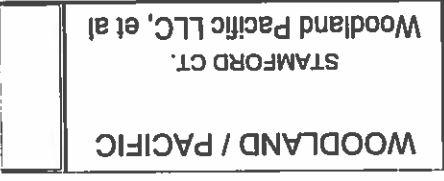




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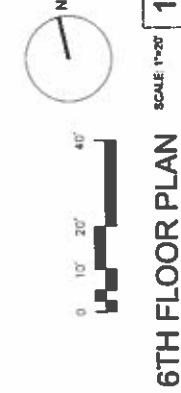
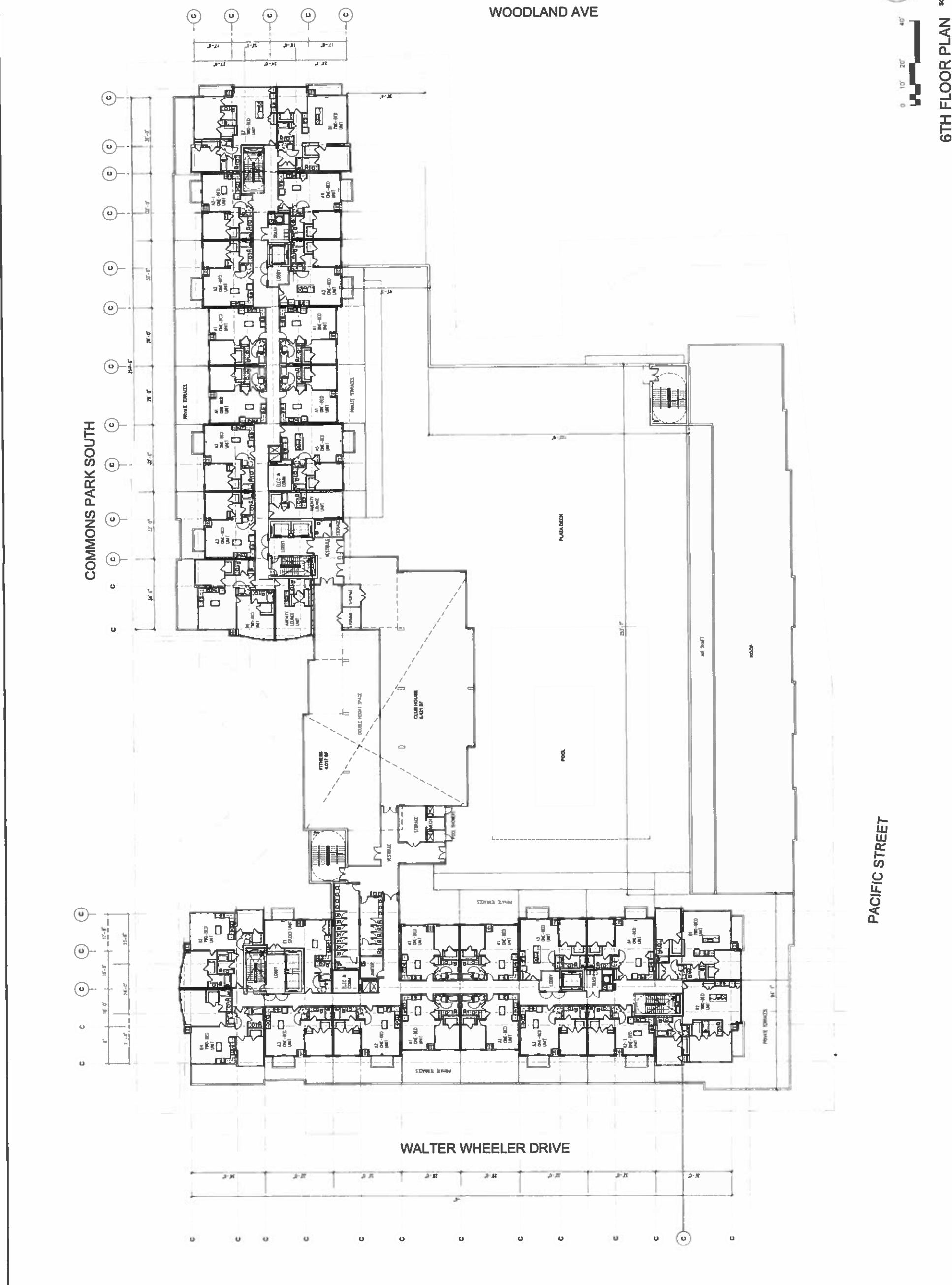
Project No: 180030  
Issued: SITE PLAN APPROVAL  
Issue Date: 06-16-2018  
Revision Date: 12-17-2018

NO.	DATE	ISSUE

DRAWING TITLE: 6TH FLOOR PLAN  
DRAWING NUMBER: A-105  
Scale: 1"

**SITE PLAN APPROVAL**

COMMONS PARK SOUTH



6TH FLOOR PLAN SCALE 1/2" = 1'



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PROJECT: 18030-001  
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NO	DATE	REVISION

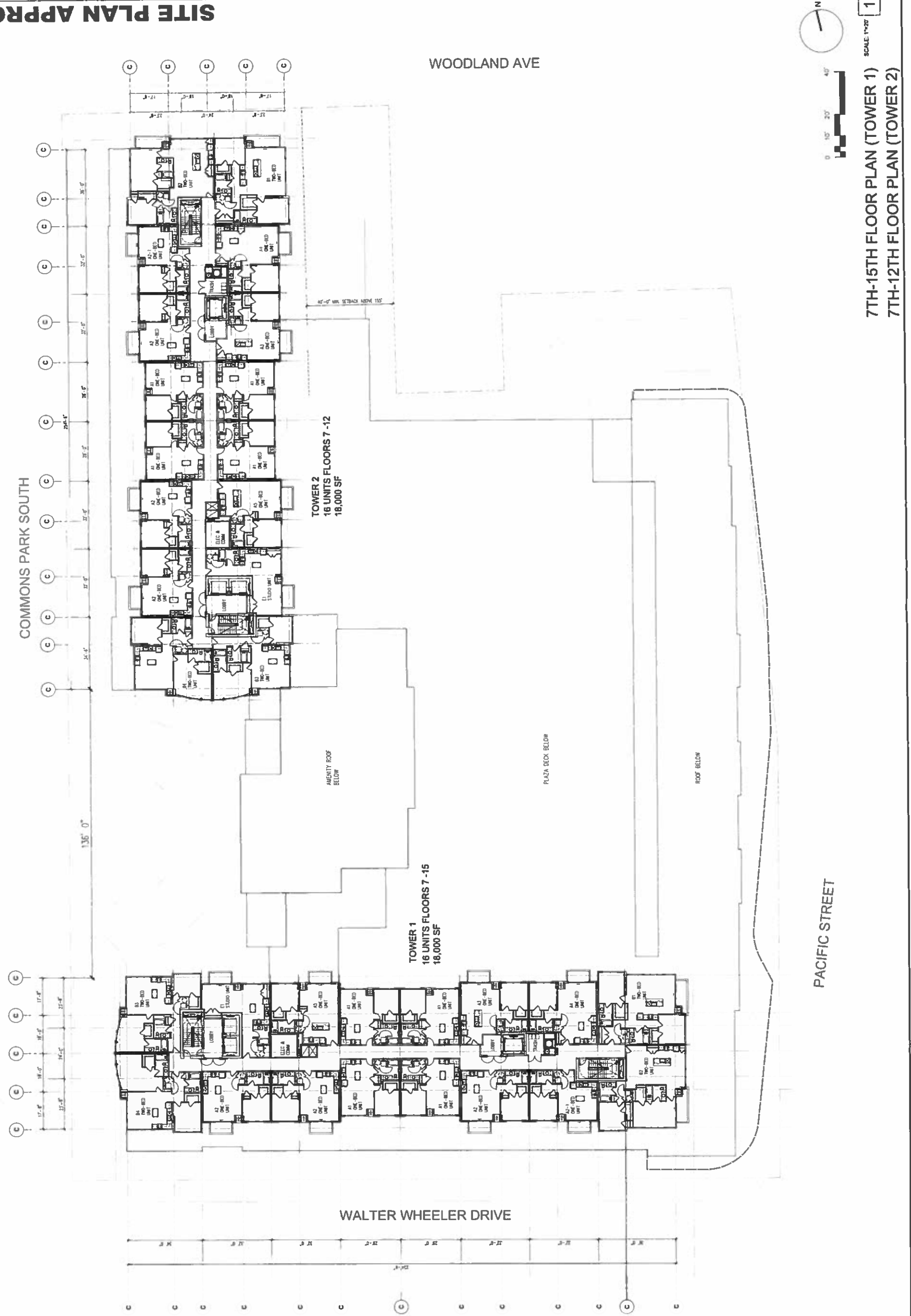
Project No: 18030  
Issue: SITE PLAN APPROVAL  
Issue Date: 08-19-2019  
Revision Date: 12-17-2019

**7TH-15TH FLOOR PLAN**

Scale: 1"=20'

**A-106**

**SITE PLAN APPROVAL**



Scale: 1"=20'

**7TH-15TH FLOOR PLAN (TOWER 1)**  
**7TH-12TH FLOOR PLAN (TOWER 2)**



# SITE PLAN APPROVAL



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 5-01-02 Building and Mechanical  
 5-01-03 Building and Mechanical  
 5-01-04 Building and Mechanical  
 5-01-05 Building and Mechanical  
 5-01-06 Building and Mechanical  
 5-01-07 Building and Mechanical  
 5-01-08 Building and Mechanical  
 5-01-09 Building and Mechanical  
 5-01-10 Building and Mechanical  
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 5-01-15 Building and Mechanical  
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 5-01-19 Building and Mechanical  
 5-01-20 Building and Mechanical

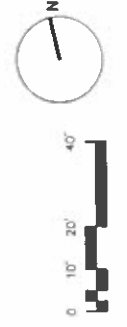
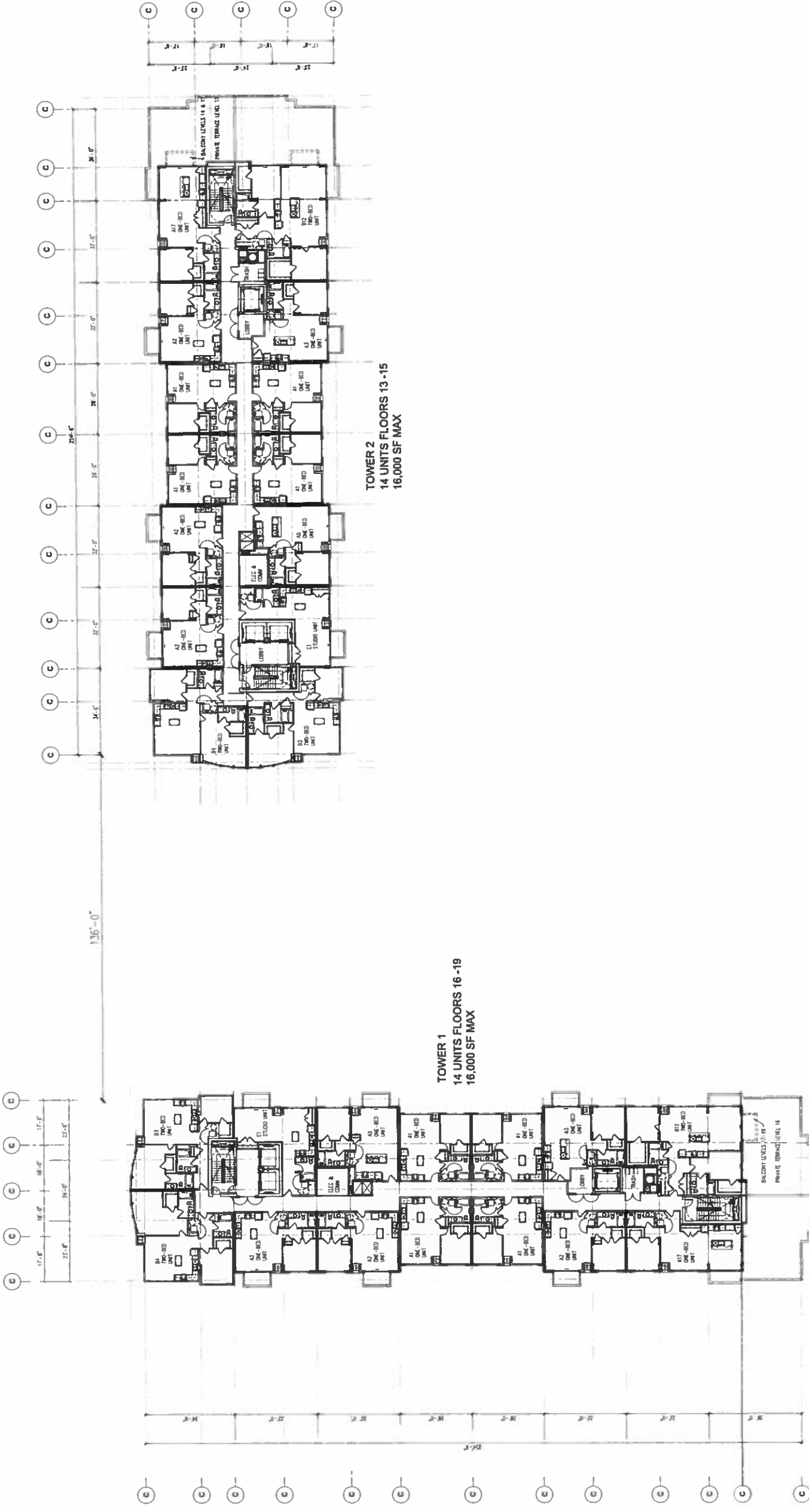
**WOODLAND / PACIFIC**  
 STAMFORD CT.  
 Woodland Pacific LLC, et al



**VICTOR MIROVITCHUK**  
 LICENSE NO. 0812  
 PROJ ID # ANCD000020  
 ALL RIGHTS RESERVED

Project No. 18030  
 Issued: SITE PLAN APPROVAL  
 Issue Date: 08-18-2018  
 Revision Date: 12-17-2018  
 DRAWING TITLE  
**16TH-19TH FLOOR PLAN**

Scale: DRAWING NUMBER **1**  
**A-107**



16TH-19TH FLOOR PLAN (TOWER 1)  
 13TH-15TH FLOOR PLAN (TOWER 2)

**SITE PLAN APPROVAL**



**EDI International, PC**  
 51 East 12th Street, 8th Floor  
 New York, NY 10003-4858  
 Phone: (212) 228-8411

www.edi-international.com  
 TEXAS CALIFORNIA NEW YORK

**OWNER:**  
 Woodland Pacific LLC, et al  
 1 Woodland Blvd., Suite 200  
 Stamford, CT 06902

**CIVIL:**  
 CIVIL 1  
 Victor Mardomtschuk  
 251 E. Rochester Ave. Suite 200  
 Stamford, CT 06902  
 License No. 000000020  
 License Expires 12/31/2018  
 License Issued 12/31/2017  
 License Renewed 12/31/2018  
 License Renewed 12/31/2019

**WOODLAND / PACIFIC**  
 STAMFORD CT.  
 Woodland Pacific LLC, et al



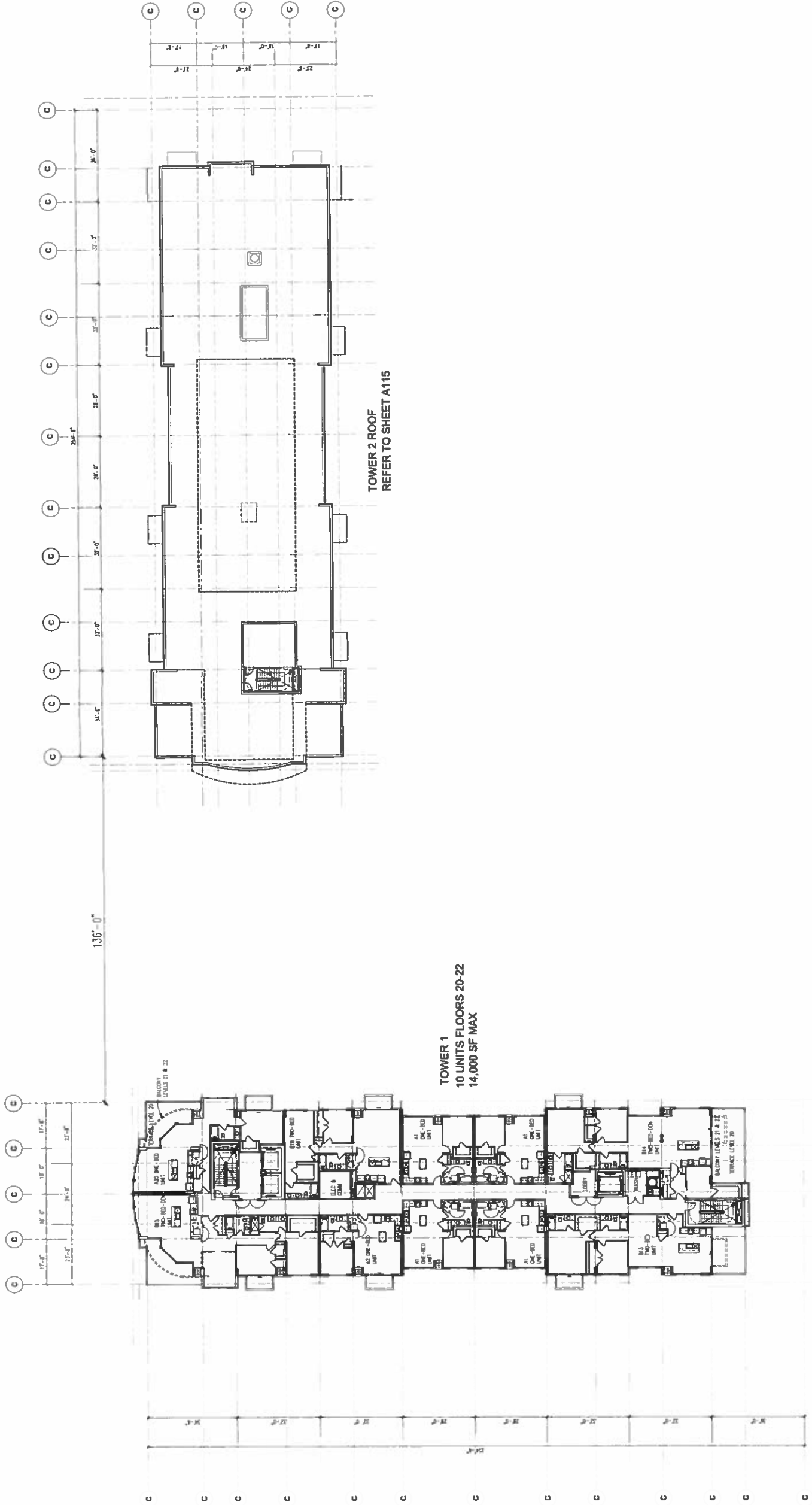
**VICTOR MARDOMTSCHUK**  
 LICENSE NO. 000000020  
 PROFESSIONAL ENGINEER  
 CIVIL ENGINEERING  
 ALL RIGHTS RESERVED

NO.	DATE	ISSUE

Project No. 18030  
 Issued: SITE PLAN APPROVAL 08-16-2018  
 Issue Date 08-16-2018  
 Revision Date 12-17-2018

**DRAWING TITLE**  
 20TH-22ND FLOOR PLAN

Scale  
 DRAWING NUMBER  
**A-108**





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 TEXAS CALIFORNIA NEW YORK

**OWNER:**  
 Woodland Pacific LLC, et al  
 140 Woodland Pacific Way  
 Stamford, CT 06907

**CIVIL 1**  
 VICTOR MIRONTSCHUK  
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 Firm ID # ANC 000020  
 State of Connecticut  
 140 Woodland Pacific Way  
 Stamford, CT 06907  
 (203) 358-1111  
 www.woodlandpacific.com

**WOODLAND / PACIFIC**  
 STAMFORD CT,  
 Woodland Pacific LLC, et al



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 LICENSE NO. 0812  
 FIRM ID # ANC 000020  
 State of Connecticut  
 140 Woodland Pacific Way  
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 (203) 358-1111  
 www.woodlandpacific.com

NO.	DATE	ISSUE

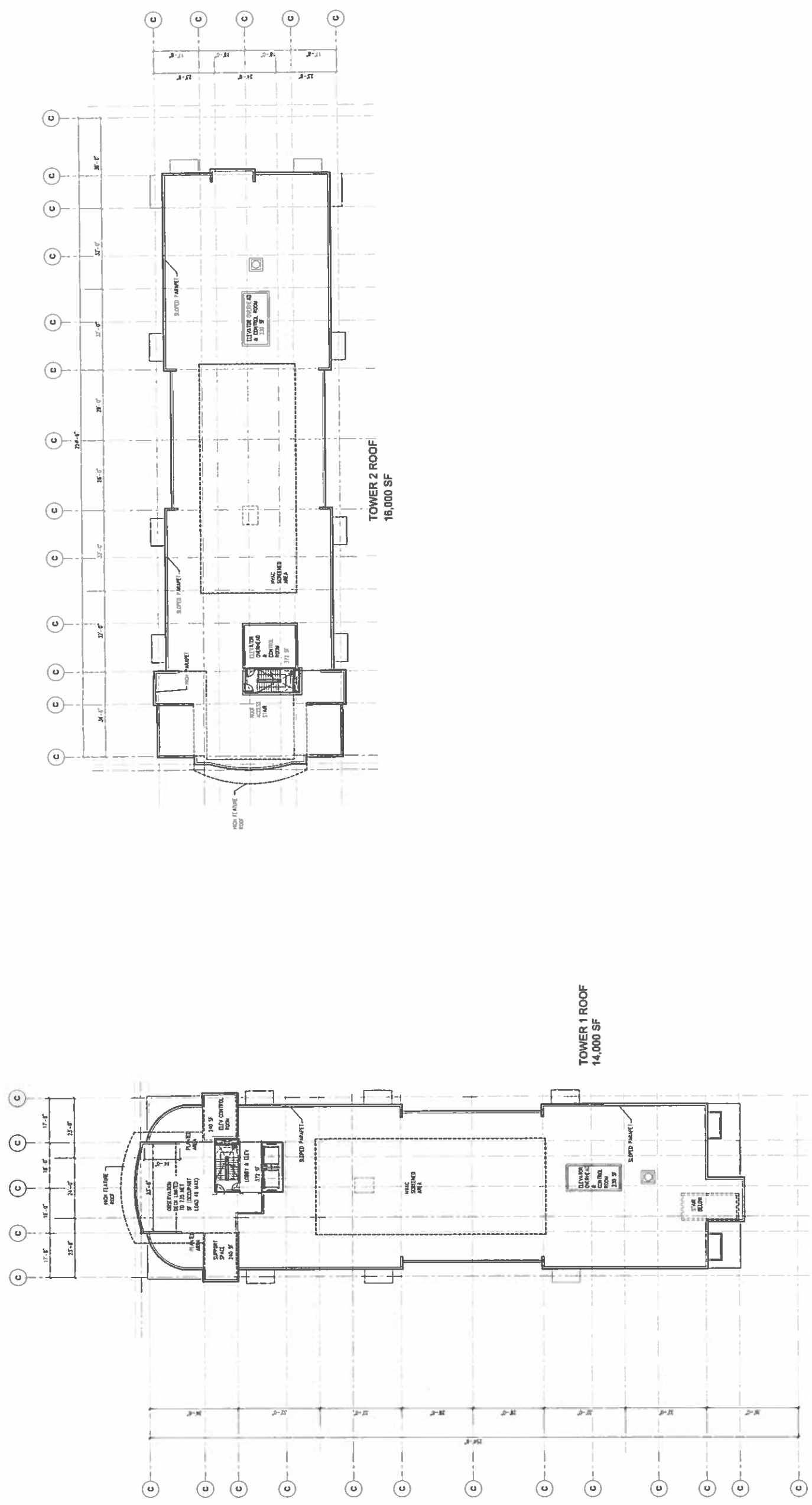
Project No. 180030  
 Issued: SITE PLAN APPROVAL 08-18-2018  
 Issue Date: 08-18-2018  
 Revision Date: 12-17-2018

**ROOF PLAN**

Scale:  
 DRAWING NUMBER

**A-109**

**SITE PLAN APPROVAL**



**ROOF PLAN** SCALE: 1/8"=1'-0" 1



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 TEXAS CALIFORNIA NEW YORK

**OWNER**  
 Woodland Pacific LLC, et al  
 1 Stamford Road, Suite 800  
 Stamford, CT 06907

**DATE**  
 CIVIL 1  
 Construction Approved Per. Iss. 04/11/18  
 Construction Approved Per. Exp. 04/11/20  
 Professional Seal No. 203364198  
 State of New York  
 Contract No. 2018-04-1  
 License No. 000001418

**WOODLAND / PACIFIC**  
 STAMFORD CT  
 Woodland Pacific LLC, et al



**VICTOR MIRONOV**  
 FIRM ID: A-100000229  
 CONTRACT NO. 2018-04-1  
 LICENSE NO. 000001418













NO.	DATE	ISSUE

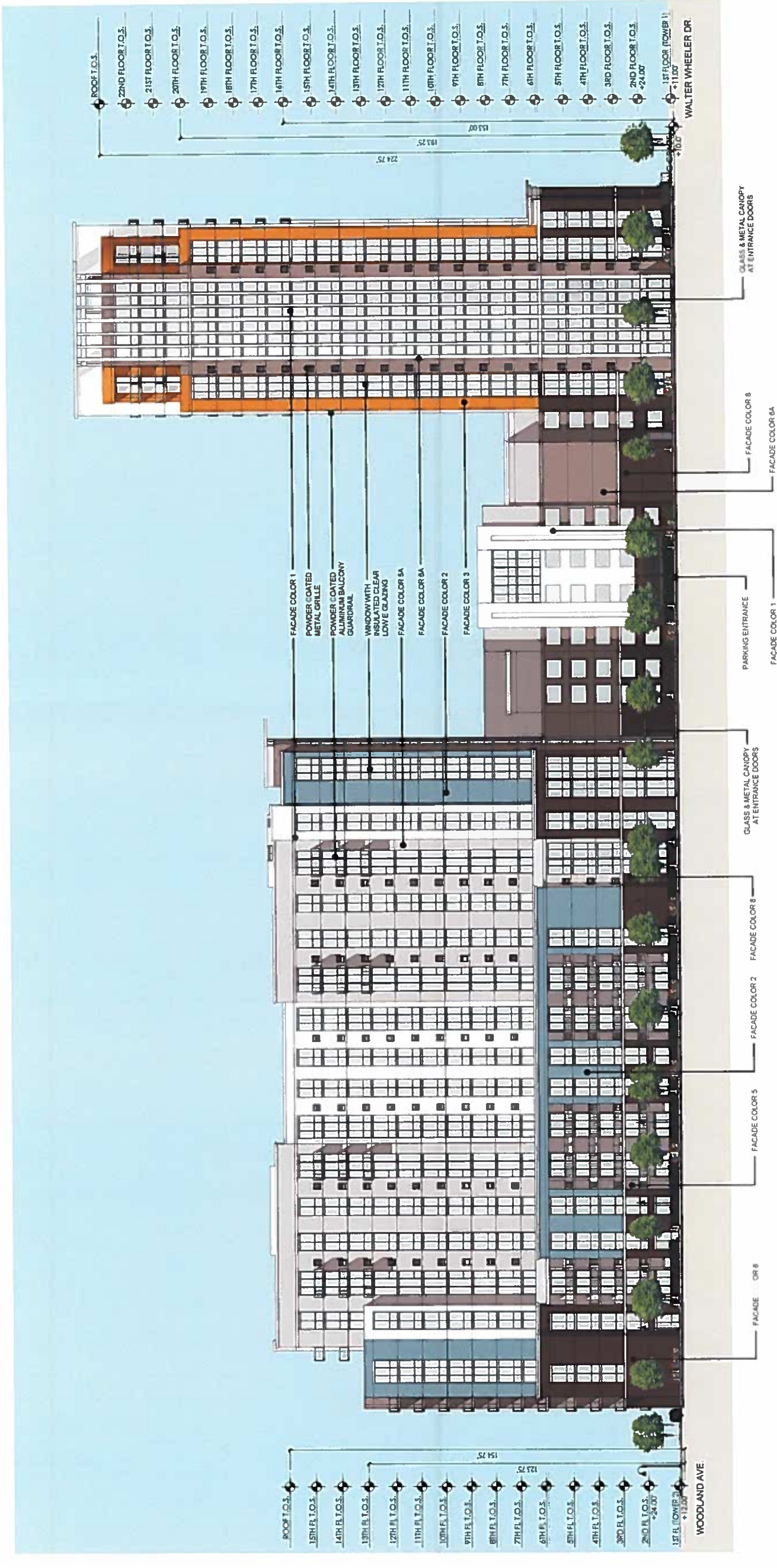
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 Issued SITE PLAN APPROVAL  
 Issue Date: 04-16-2018  
 Revision Date: 12-17-2018

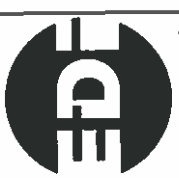
**BUILDING ELEVATIONS**  
 DRAWING TITLE  
 Scale  
 DRAWING NUMBER  
**A-201**

**SITE PLAN APPROVAL**

**LEGEND:**

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<p><b>TYPE: FACADE COLOR 8A</b>          COLOR: FUNCTIONAL GRAY SW 7024</p> 	<p><b>TYPE: FACADE COLOR 8A</b>          COLOR: BACKDROP SW 7025</p> 	<p><b>TYPE: FACADE COLOR 8</b>          COLOR: STATUS BRONZE SW 7034</p> 						





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 51 East 12th Street, 8th Floor  
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 TEXAS: CALIFORNIA: NEW YORK:

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 Stamford, CT 06907

**DESIGNER**  
**CIVIL**  
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 Phone: (212) 228-9411  
 Fax: (212) 228-9412  
 E-mail: EDI@EDI-INT.COM

**WOODLAND / PACIFIC**  
 STAMFORD CT  
 Woodland Pacific LLC, et al



**VICTOR MIROTSCHUK**  
 PROFESSIONAL ENGINEER  
 F.I.R.C. NO. 000720  
 51 West 12th Street, Suite 500  
 New York, NY 10003-4808

NO.	DATE	REVISION

Project No: 18030  
 Issued SITE PLAN APPROVAL  
 Issue Date: 06-15-2018  
 Revision Date: 12-17-2018

**BUILDING ELEVATIONS**  
 DRAWING TITLE  
 Scale  
 DRAWING NUMBER

**A-202**

**SITE PLAN APPROVAL**

**LEGEND:**  
 TYPE: FACADE COLOR 1  
 COLOR: HIGH REFLECTIVE WHITE SW 7757

TYPE: FACADE COLOR 2  
 COLOR: REFUGE SW 6228

TYPE: FACADE COLOR 3  
 COLOR: SAUCY GOLD SW 6370

TYPE: FACADE COLOR 4  
 COLOR: SW 7026 (BRICK)

TYPE: FACADE COLOR 5  
 COLOR: FUNCTIONAL GRAY SW 7024 (BRICK)

TYPE: FACADE COLOR 6  
 COLOR: BACKDROP SW 7025 (BRICK)

TYPE: FACADE COLOR 7  
 COLOR: ELEPHANT EAR SW 9188 (BRICK)

TYPE: FACADE COLOR 8  
 COLOR: STATUS BRONZE SW 7034 (BRICK)

TYPE: FACADE COLOR 9  
 COLOR: BRANSTORM SW 7033 (BRICK)

TYPE: FACADE COLOR 8  
 COLOR: STATUS BRONZE SW 7034

TYPE: FACADE COLOR 6A  
 COLOR: BACKDROP SW 7025

TYPE: FACADE COLOR 8A  
 COLOR: FUNCTIONAL GRAY SW 7024



**ELEVATION - WALTER WHEELER DRIVE**



**EDI International, PC**  
 51 East 12th Street, 8th Floor  
 New York, NY 10003-4106  
 Phone: (212) 228-9411

www.edi-international.com  
 18 LAS CALIFORNIA, NEW YORK

**OWNER**  
 Woodland Pacific LLC, et al  
 11 Leonard Street, Suite 500  
 New York, NY 10002

**DESIGNER**  
 CIVIL 1  
 Construction Incorporated, Inc.  
 300 West 12th Street, 10th Floor  
 New York, NY 10004  
 Phone: (212) 228-9411  
 Fax: (212) 228-9411  
 E-mail: info@constructioninc.com

**WOODLAND / PACIFIC**  
 STAMFORD CT.  
 Woodland Pacific LLC, et al



**VICTOR MIRONTSCHUK**  
 PROFESSIONAL ENGINEER  
 CIVIL ENGINEERING  
 EXPIRES 12/31/2020

NO.	DATE	ISSUE

Project No: 18033D  
 Issued SITE PLAN APPROVAL: 09-18-2018  
 Issue Date: 09-18-2018  
 Revision Date: 12-17-2018

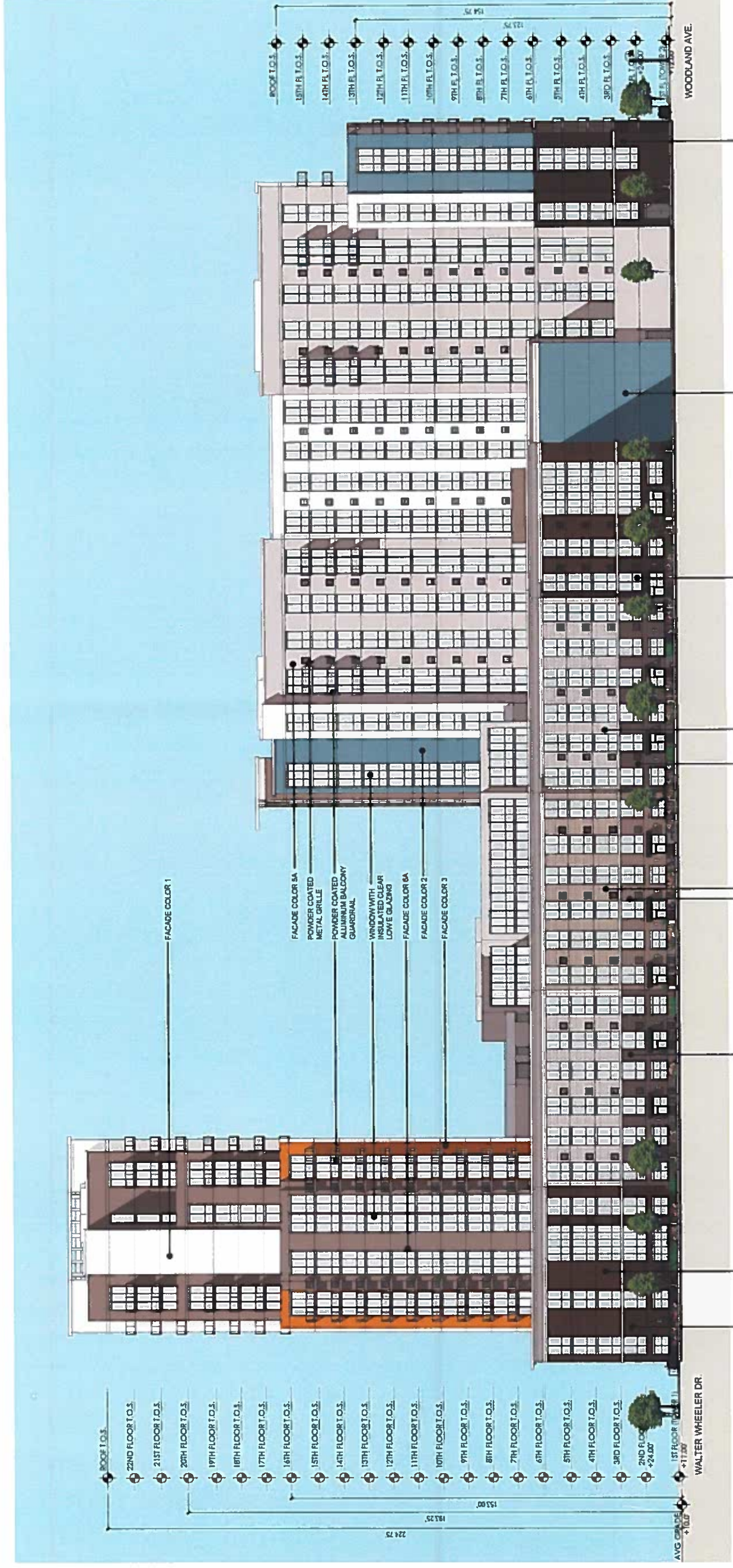
**BUILDING ELEVATIONS**

Scale: \_\_\_\_\_  
 DRAWING NUMBER  
**A-203**

**SITE PLAN APPROVAL**

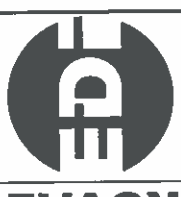
**LEGEND:**

<p><b>TYPE: FACADE COLOR 1</b>          COLOR: HIGH REFLECTIVE WHITE SW 7757          COLOR</p>	<p><b>TYPE: FACADE COLOR 2</b>          COLOR: REFUGE SW 6228          COLOR</p>	<p><b>TYPE: FACADE COLOR 3</b>          COLOR: SAUCY GOLD SW 6370          COLOR</p>	<p><b>TYPE: FACADE COLOR 4</b>          COLOR: CHERRY SW 7526 (BRICK)          COLOR</p>	<p><b>TYPE: FACADE COLOR 5</b>          COLOR: FUNCTIONAL GRAY SW 7024 (BRICK)          COLOR</p>	<p><b>TYPE: FACADE COLOR 6</b>          COLOR: BACKDROP SW 7025 (BRICK)          COLOR</p>	<p><b>TYPE: FACADE COLOR 7</b>          COLOR: ELEPHANT EAR SW 9188 (BRICK)          COLOR</p>	<p><b>TYPE: FACADE COLOR 8</b>          COLOR: STATUS BRONZE SW 7034 (BRICK)          COLOR</p>	<p><b>TYPE: FACADE COLOR 9</b>          COLOR: BRANT STORM SW 7033 (BRICK)          COLOR</p>
<p><b>TYPE: FACADE COLOR 8A</b>          COLOR: FUNCTIONAL GRAY SW 7024          COLOR</p>	<p><b>TYPE: FACADE COLOR 8A</b>          COLOR: BACKDROP SW 7025          COLOR</p>	<p><b>TYPE: FACADE COLOR 8A</b>          COLOR: BACKDROP SW 7025          COLOR</p>	<p><b>TYPE: FACADE COLOR 8A</b>          COLOR: BACKDROP SW 7025          COLOR</p>	<p><b>TYPE: FACADE COLOR 8A</b>          COLOR: BACKDROP SW 7025          COLOR</p>	<p><b>TYPE: FACADE COLOR 8A</b>          COLOR: BACKDROP SW 7025          COLOR</p>	<p><b>TYPE: FACADE COLOR 8A</b>          COLOR: BACKDROP SW 7025          COLOR</p>	<p><b>TYPE: FACADE COLOR 8A</b>          COLOR: BACKDROP SW 7025          COLOR</p>	<p><b>TYPE: FACADE COLOR 8A</b>          COLOR: BACKDROP SW 7025          COLOR</p>



WOODLAND AVE.  
 FACADE COLOR 8  
 FACADE COLOR 2  
 WINDOW WITH INSULATED CLEAR LOW-E GLAZING  
 FACADE COLOR 4  
 FACADE COLOR 5  
 FACADE COLOR 6  
 FACADE COLOR 7  
 FACADE COLOR 4  
 FACADE COLOR 8  
 FACADE COLOR 9

**ELEVATION - PACIFIC ST**



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 New York, NY 10003-4808  
 Phone: (212) 239-6411  
 www.edi-international.com  
 TEJAS CALIFORNIA NEW YORK

OWNER  
 Woodland Pacific LLC, et al  
 1 Woodland Ave., Suite 900  
 Stamford, CT 06902

DESIGNER  
 CIVIL 1  
 Victor Mirontschuk  
 2701 11th Avenue, Suite 100  
 New York, NY 10019  
 Phone Number: (212) 260-1178  
 Fax Number: (212) 260-1179  
 E-mail: vmirontschuk@victormirontschuk.com  
 Victor Mirontschuk, Inc.

WOODLAND / PACIFIC  
 STAMFORD CT,  
 Woodland Pacific LLC, et al

NO. DATE ISSUE

18030  
 Project No  
 Issued SITE PLAN APPROVAL 08-18-2018  
 Issue Date  
 Revision Date 12-17-2018



VICTOR MIRONTSCHUK  
 LICENSE NO. 13030000220  
 CIVIL ENGINEER  
 STATE OF NEW YORK  
 EXPIRES 12/31/2020

DRAWING TITLE  
**BUILDING ELEVATIONS**

Scale  
**A-204**

**SITE PLAN APPROVAL**

**LEGEND:**

<b>TYPE: FACADE COLOR 1</b> COLOR: HIGH REFLECTIVE WHITE SW7757	<b>TYPE: FACADE COLOR 2</b> COLOR: REFUGE SW 8228	<b>TYPE: FACADE COLOR 3</b> COLOR: SAUCY GOLD SW6370	<b>TYPE: FACADE COLOR 4</b> COLOR: SW 7029 (BRICK)	<b>TYPE: FACADE COLOR 5</b> COLOR: FUNCTIONAL GRAY SW 7024 (BRICK)	<b>TYPE: FACADE COLOR 6</b> COLOR: BACKDROP SW 7023 (BRICK)	<b>TYPE: FACADE COLOR 7</b> COLOR: ELEPHANT EAR SW 8168 (BRICK)	<b>TYPE: FACADE COLOR 8</b> COLOR: STATUS BRONZE SW 7024 (BRICK)	<b>TYPE: FACADE COLOR 8</b> COLOR: STATUS BRONZE SW 7024	<b>TYPE: FACADE COLOR 9</b> COLOR: BRAINSTORM SW 7033 (BRICK)
--	--	---	---	---	--	--	---	---	--



COMMONS PARK SOUTH

FACADE COLOR 8  
 LOADING DOCK OVERHEAD DOOR  
 FACADE COLOR 5A  
 FACADE COLOR 2  
 PUNCHED OPENINGS  
 PARKING ENTRANCE  
 FACADE COLOR 9  
 FACADE COLOR 8  
 FACADE COLOR 9

ROOF F.L.O.S.  
 2ND FLOOR F.L.O.S.  
 21ST FLOOR F.L.O.S.  
 20TH FLOOR F.L.O.S.  
 19TH FLOOR F.L.O.S.  
 18TH FLOOR F.L.O.S.  
 17TH FLOOR F.L.O.S.  
 16TH FLOOR F.L.O.S.  
 15TH FLOOR F.L.O.S.  
 14TH FLOOR F.L.O.S.  
 13TH FLOOR F.L.O.S.  
 12TH FLOOR F.L.O.S.  
 11TH FLOOR F.L.O.S.  
 10TH FLOOR F.L.O.S.  
 9TH FLOOR F.L.O.S.  
 8TH FLOOR F.L.O.S.  
 7TH FLOOR F.L.O.S.  
 6TH FLOOR F.L.O.S.  
 5TH FLOOR F.L.O.S.  
 4TH FLOOR F.L.O.S.  
 3RD FLOOR F.L.O.S.  
 2ND FLOOR F.L.O.S.  
 2ND FLOOR F.L.O.S.  
 1ST FLOOR F.L.O.S.  
 +11.00  
 PACIFIC ST  
 AVG GRADE +10.0

154.75  
 122.75  
 122.75  
 22.75  
 153.00  
 193.25



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OWNER  
Woodland Pacific LLC, et al  
1 Stamford Ave., Suite 400  
Stamford, CT 06907

DATE  
CIVIL 1  
Contract Professional Seal  
2141 Old Post Road, Suite 200  
Stamford, CT 06907  
Professional No. 36348738  
Contract No. 1301000001  
Contract Date 06/15/18  
Contract Description 1301000001

WOODLAND / PACIFIC  
STAMFORD CT  
Woodland Pacific LLC, et al



VICTOR MIRDANTSCHUK  
REGISTERED PROFESSIONAL ENGINEER  
No. 10354  
Expiration Date 12/31/2020  
Specialty Structural Engineering

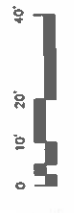
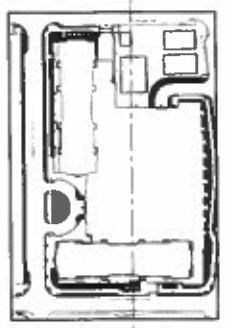
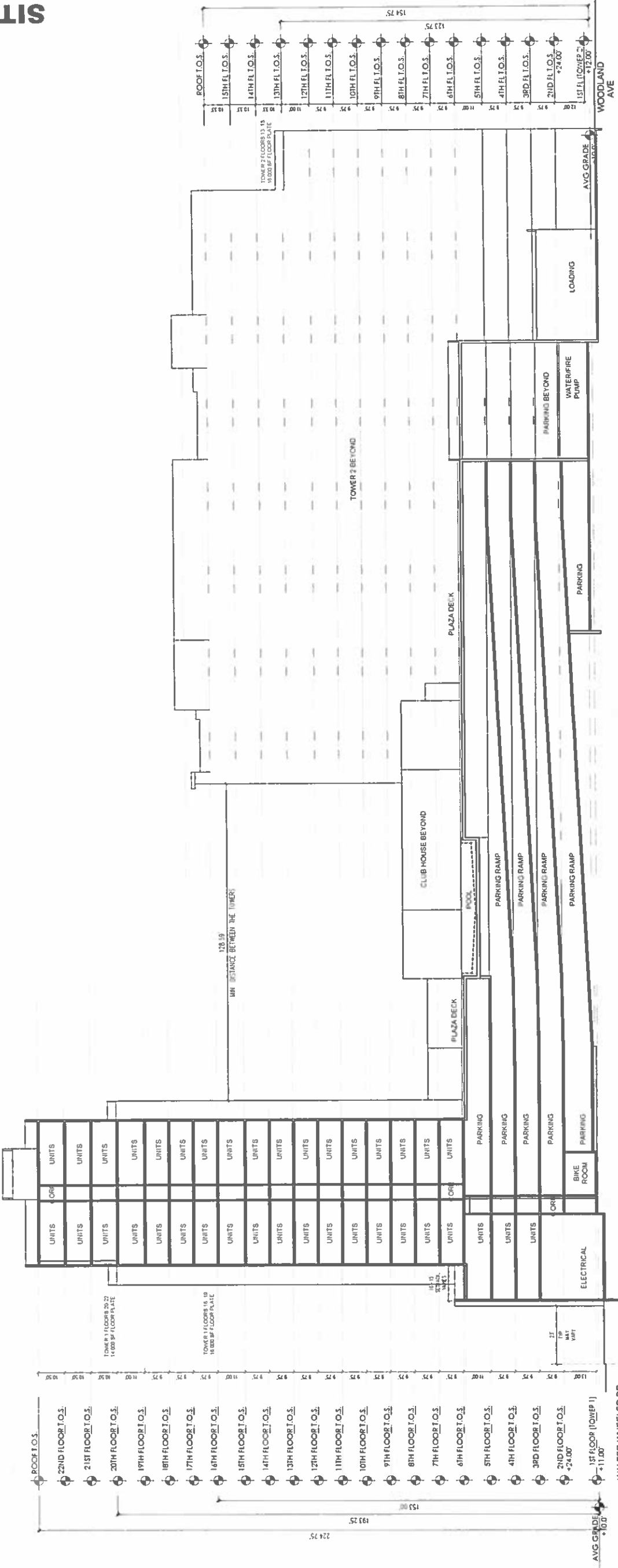
NO	DATE	ISSUE

Project No 18030  
Issued SITE PLAN APPROVAL  
Issue Date 06-16-2018  
Revision Date 10-25-2018

DRAWING TITLE  
BUILDING  
SECTIONS

Scale  
DRAWING NUMBER  
**A-301**

# SITE PLAN APPROVAL



BUILDING SECTION  
SCALE 1/4"=1'-0"  
**1**



**SITE PLAN APPROVAL**



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New York, NY 10003-4058  
Phone (212) 238-8411

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**TEXAS** CALIFORNIA NEW YORK

**OWNER**  
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1 Howard Road, Suite 800  
Stamford, CT 06907

**ENGINEER**  
WOODLAND PACIFIC  
18115 Buchanan Blvd, Suite 300  
Houston, TX 77058  
Phone Number: 281.368.5778  
Fax Number: 281.368.5779  
Project No: WPA14137  
Contract No: WPA14137-1  
E-mail: eng@woodpac.com

**WOODLAND / PACIFIC**  
STAMFORD CT  
Woodland Pacific LLC, et al



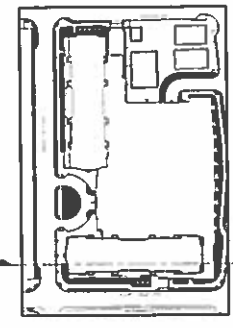
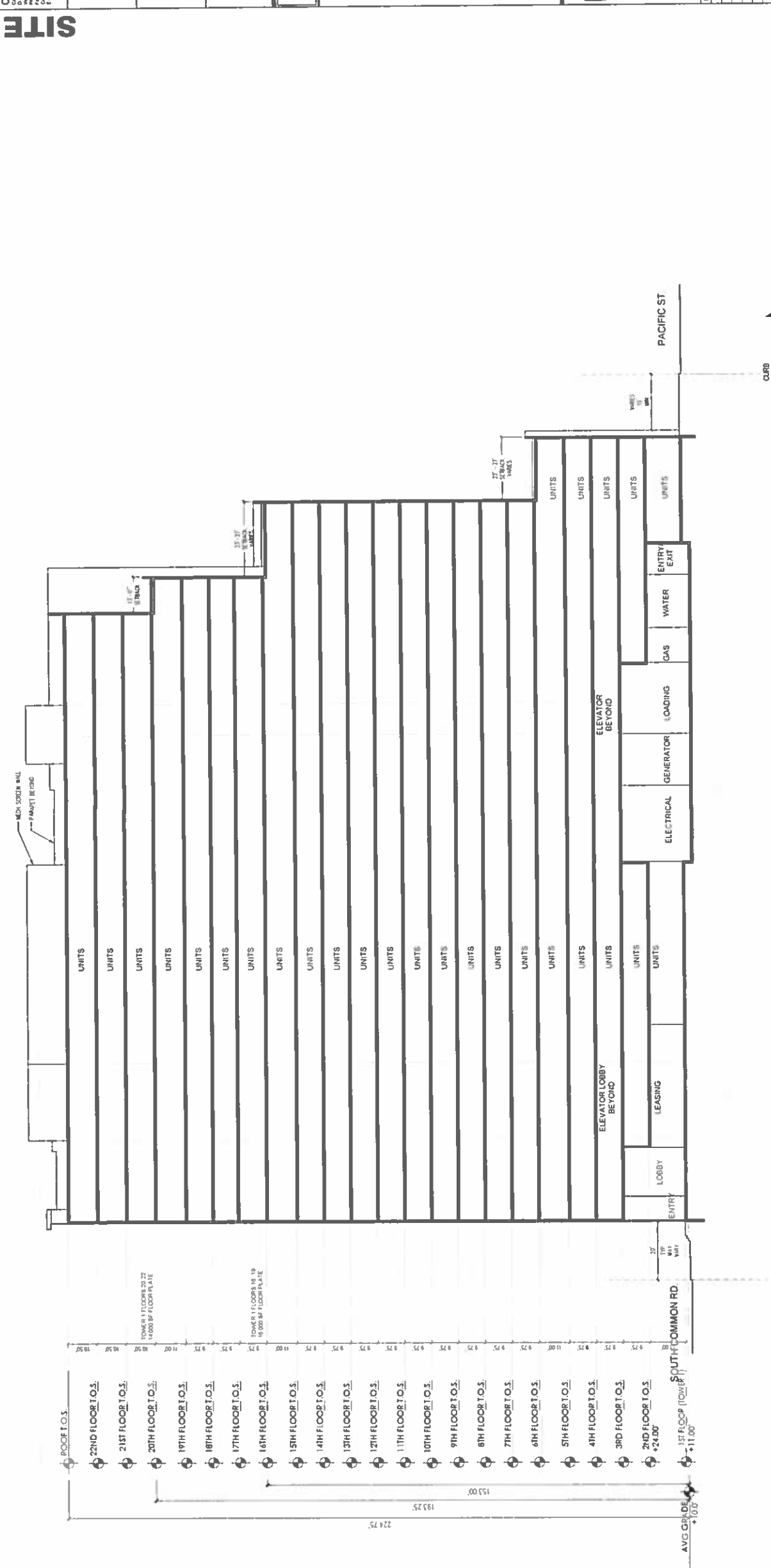
**VICTOR MIRONTSCHUK**  
Professional Engineer  
FIRM: WPA LLC 0000220  
EXPIRES: 12/31/2018  
ELECTRICAL

NO	DATE	ISSUE

Project No: **18030**  
Issued: **SITE PLAN APPROVAL**  
Issue Date: **08-18-2018**  
Revision Date: **10-25-2018**

DRAWING TITLE:  
**BUILDING SECTIONS**  
Scale: DRAWING NUMBER  
**A-302**

BUILDING SECTION SCALE 1/4"=1'-0" 1





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New York, NY 10003-4056  
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TEXAS CALIFORNIA NEW YORK

**OWNER**  
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11 Broad Street, Suite 909  
Stamford, CT 06902

**CIVIL**  
WOODLAND PACIFIC LLC  
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Stamford, CT 06902  
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Fax: (203) 346-6179  
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**WOODLAND / PACIFIC**  
STAMFORD CT  
Woodland Pacific LLC, et al



**VICTOR MIRONTSCHUK**  
LICENSE NO. 0812  
FIRM ID # AHC 000020  
11 Broad Street, Suite 909  
Stamford, CT 06902

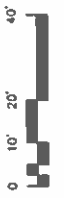
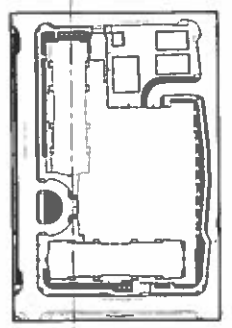
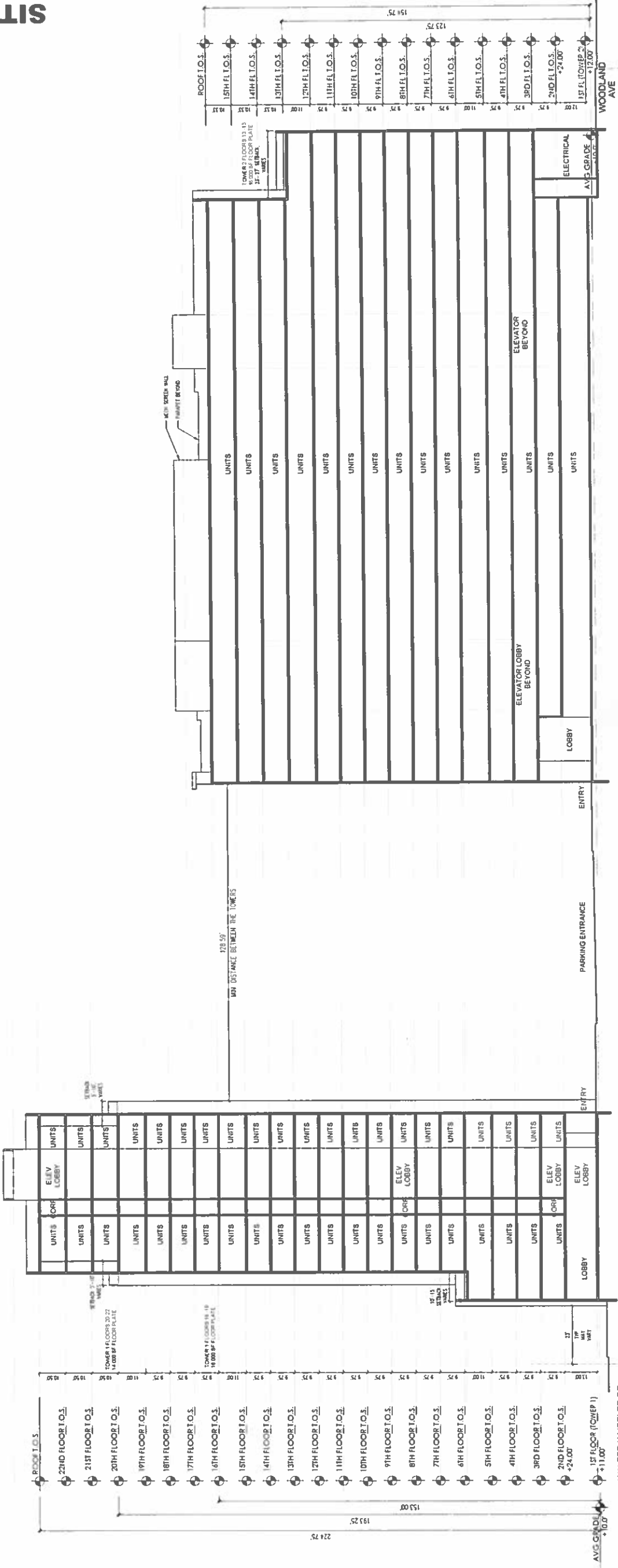
NO.	DATE	ISSUE

Project No: 18030  
Issued SITE PLAN APPROVAL: 05-15-2018  
Issue Date: 05-15-2018  
Revision Date: 10-25-2018

**BUILDING SECTIONS**  
DRAWING TITLE  
Scale  
DRAWING NUMBER

**A-303**

**SITE PLAN APPROVAL**



**BUILDING SECTION** SCALE: 1"=20'

**1**



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51 East 12th Street, 8th Floor  
New York, NY 10003-4856  
Phone: (212) 228-5411

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Victor Mironitschuk  
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Stamford, CT 06902  
Phone: (203) 346-9178  
Cell: (203) 346-9179  
Email: Victor.Mironitschuk@VPAC.com

WOODLAND / PACIFIC  
STAMFORD CT.  
Woodland Pacific LLC, et al



VICTOR MIRONITSCHUK  
LICENSE NO. 68172  
FIRM ID # PAC00028  
20 WOODLAND AVE, SUITE 900  
STAMFORD, CT 06902

NO.	DATE	ISSUE

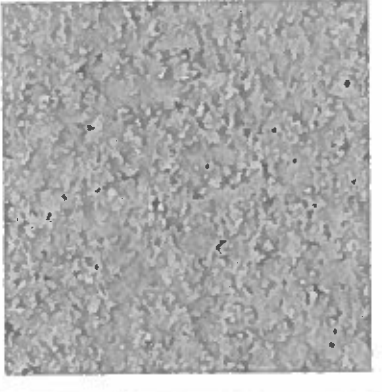
Project No. 18030  
Issued SITE PLAN APPROVAL  
Issue Date 09-16-2018  
Revision Date 12-17-2018

DRAWING TITLE  
**CORNICE & DETAILS**

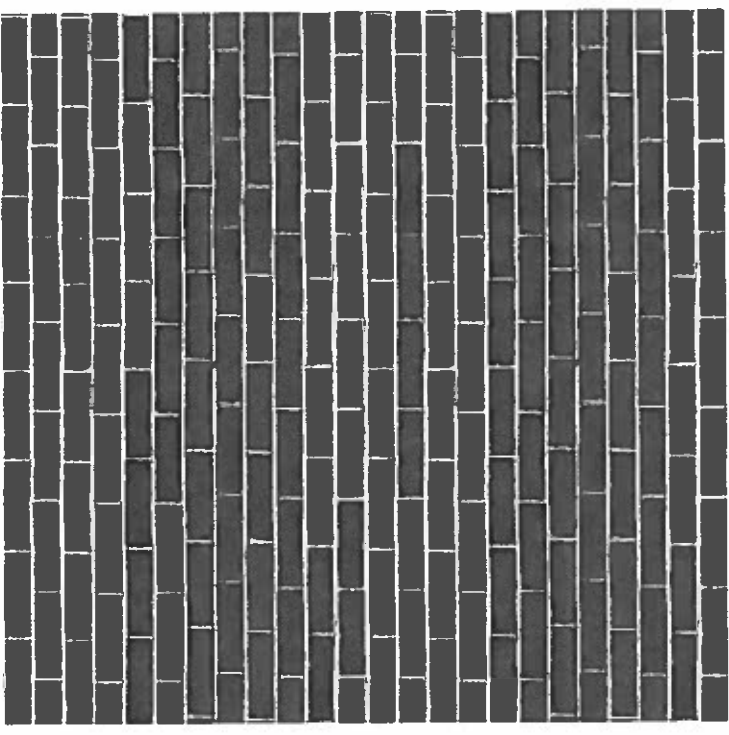
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DRAWING NUMBER  
**A-310**

**SITE PLAN APPROVAL**

FACADE COLOR



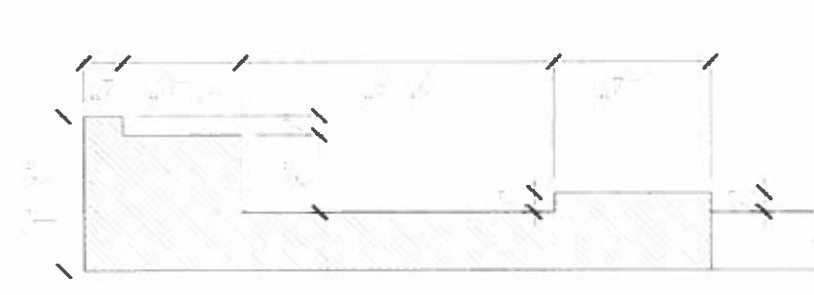
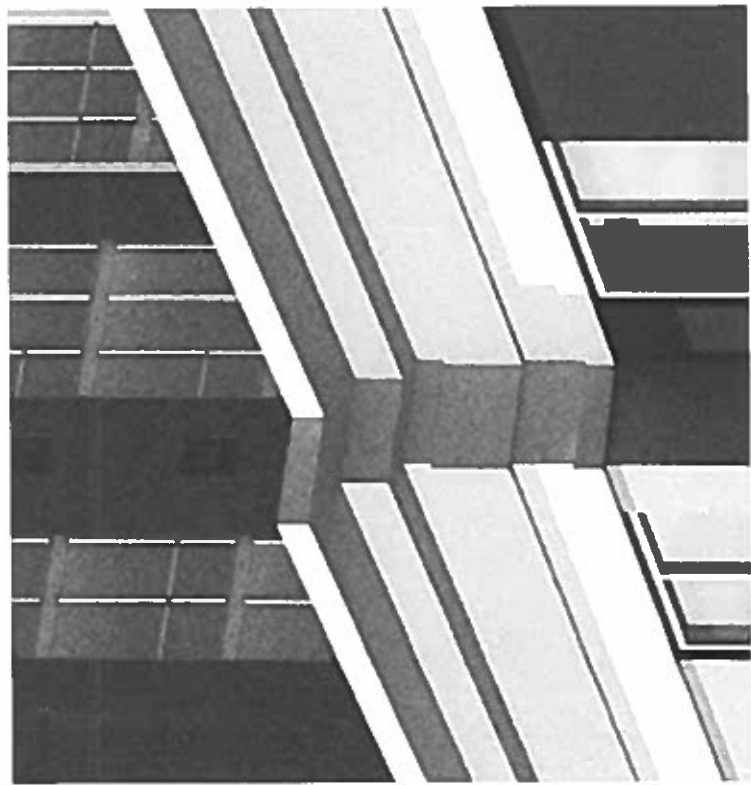
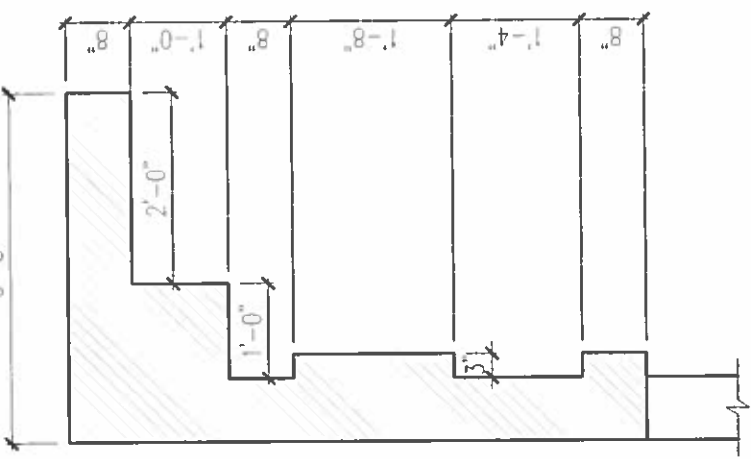
LOUVER



LOUVER COLOR MATCH 3

EIFS BRICK TEXTURE 4

BALCONY RAILING / ALUMINUM WINDOW 5



PACIFIC STREET ONLY CORNICE DETAIL 1

TYPICAL CORNICE DETAIL 2

### LANDSCAPE NOTES:

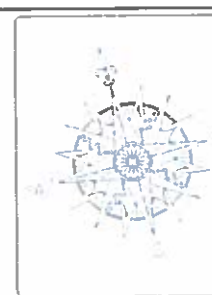
- CONTACT ALL BIDDING VENDORS AT 1-800-827-4445 TO HAVE EXISTING PLANT MATERIALS AND SPICES TYPES THAT VARY FROM THIS PLAN BASED ON SITE PLAN REVISIONS AND/OR ACTUAL FIELD CONDITIONS.
- FIELD LOCATION OF PROPOSED PLANTINGS AND SPICES TYPES MAY VARY FROM THIS PLAN BASED ON SITE PLAN REVISIONS AND/OR ACTUAL FIELD CONDITIONS.
- PLANTING LOCATIONS SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- FIELD LAYOUTS WITH "SMART SEE MARKERS" SHALL BE PROVIDED AND RECOMMENDED BY THE LANDSCAPE ARCHITECT. "SMART SEE MARKERS" SHALL BE PROVIDED AND RECOMMENDED BY THE LANDSCAPE ARCHITECT.
- PLANT SPECIES SUBSTITUTIONS MAY BE MADE WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT. ALL PLANTING SHALL BE AT AN ELEVATION OF 0.00 PER DOT AS NOTED USING A SIMILAR TREE PLANT.
- MULCH PLANTING BEDS AND TREES WITH 4.5" THICK LAYER OF MULCH. MULCH SHALL BE APPLIED WITHIN 4' OF TREE TRUNKS SHALL BE MAINTAINED PERIODICALLY.
- ALL PLANTING METHODS SHALL BE IN ACCORDANCE WITH THE "AMERICAN STANDARD FOR NURSERY STOCK" LATEST EDITION AS PUBLISHED BY THE AMERICAN NURSERY AND FORESTRY ASSOCIATION.
- NEW PLANTINGS DO NOT INTERFERE WITH EXISTING AND/OR PROPOSED UTILITIES, FOOT LINES, AND/OR STRUCTURES.
- IN THE EVENT OF A DISCREPANCY BETWEEN THE QUANTITIES OF PLANTS AND THE ACTUAL QUANTITIES SHOWN ON THE PLAN, THE PLAN SHALL GOVERN.
- THIS PLAN FOR PLANTING PURPOSES ONLY. SEE PLANS BY OTHERS FOR ADDITIONAL INFORMATION.
- THE LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR THE SELECTION OF PLANTS AND THE LOCATION OF PLANTINGS. THE LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR THE LANDSCAPE CONSTRUCTION AND MAINTENANCE. THE LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR THE LANDSCAPE CONSTRUCTION AND MAINTENANCE. THE LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR THE LANDSCAPE CONSTRUCTION AND MAINTENANCE.

COMMODITY NAME	SIZE	ROOT	REMARKS
AMERICAN RED WOOD	3" CAL.	BAR	MATURING FULL
AMERICAN RED WOOD	3" CAL.	BAR	MATURING FULL
HOLOCORON HOLLY	24-30" HT.	CONT.	
HOLOCORON HOLLY	36-42" HT.	CONT.	
STEPA UNIFORM HOLLY	4-5' HT.	CONT.	
OTTO UNIFORM HOLLY	30-34" HT.	BAR	
PRINCESS LAMARQUE OTTO WURCH	2-3' HT.	CONT.	
LITTLE PRINCESS SPIREA	24-30" HT.	CONT.	
CHERRY BLOSSOM GRASS	1" CAL.	1 CAL.	
HAPPY RETURNING DELICAT	1" CAL.	1 CAL.	
HAPPY RETURNING DELICAT	1" CAL.	1 CAL.	
HAPPY RETURNING DELICAT	1" CAL.	1 CAL.	
HAPPY RETURNING DELICAT	1" CAL.	1 CAL.	

CITY KEY	BOTANICAL NAME
33	ALER PAVONIA
35	OLEIFOLIUM
42	LEX CRONATA
44	LEX CRONATA
45	LEX CRONATA
46	LEX CRONATA
47	LEX CRONATA
48	LEX CRONATA
49	LEX CRONATA
50	LEX CRONATA
51	LEX CRONATA
52	LEX CRONATA
53	LEX CRONATA
54	LEX CRONATA
55	LEX CRONATA
56	LEX CRONATA
57	LEX CRONATA
58	LEX CRONATA
59	LEX CRONATA
60	LEX CRONATA

LEGEND	DESCRIPTION
(A)	PROPOSED PLANTING
(B)	EXISTING PLANTING
(C)	PROPOSED PLANTING
(D)	EXISTING PLANTING
(E)	PROPOSED PLANTING
(F)	EXISTING PLANTING
(G)	PROPOSED PLANTING
(H)	EXISTING PLANTING
(I)	PROPOSED PLANTING
(J)	EXISTING PLANTING
(K)	PROPOSED PLANTING
(L)	EXISTING PLANTING
(M)	PROPOSED PLANTING
(N)	EXISTING PLANTING
(O)	PROPOSED PLANTING
(P)	EXISTING PLANTING
(Q)	PROPOSED PLANTING
(R)	EXISTING PLANTING
(S)	PROPOSED PLANTING
(T)	EXISTING PLANTING
(U)	PROPOSED PLANTING
(V)	EXISTING PLANTING
(W)	PROPOSED PLANTING
(X)	EXISTING PLANTING
(Y)	PROPOSED PLANTING
(Z)	EXISTING PLANTING

PLANT LIST	COMMODITY NAME	SIZE	ROOT	REMARKS
1	AMERICAN RED WOOD	3" CAL.	BAR	MATURING FULL
2	AMERICAN RED WOOD	3" CAL.	BAR	MATURING FULL
3	HOLOCORON HOLLY	24-30" HT.	CONT.	
4	HOLOCORON HOLLY	36-42" HT.	CONT.	
5	STEPA UNIFORM HOLLY	4-5' HT.	CONT.	
6	OTTO UNIFORM HOLLY	30-34" HT.	BAR	
7	PRINCESS LAMARQUE OTTO WURCH	2-3' HT.	CONT.	
8	LITTLE PRINCESS SPIREA	24-30" HT.	CONT.	
9	CHERRY BLOSSOM GRASS	1" CAL.	1 CAL.	
10	HAPPY RETURNING DELICAT	1" CAL.	1 CAL.	
11	HAPPY RETURNING DELICAT	1" CAL.	1 CAL.	
12	HAPPY RETURNING DELICAT	1" CAL.	1 CAL.	
13	HAPPY RETURNING DELICAT	1" CAL.	1 CAL.	
14	HAPPY RETURNING DELICAT	1" CAL.	1 CAL.	
15	HAPPY RETURNING DELICAT	1" CAL.	1 CAL.	
16	HAPPY RETURNING DELICAT	1" CAL.	1 CAL.	
17	HAPPY RETURNING DELICAT	1" CAL.	1 CAL.	
18	HAPPY RETURNING DELICAT	1" CAL.	1 CAL.	
19	HAPPY RETURNING DELICAT	1" CAL.	1 CAL.	
20	HAPPY RETURNING DELICAT	1" CAL.	1 CAL.	



NO.	REVISIONS	DATE
1	ISSUED FOR PERMIT	8 MAR 17
2	REVISED FOR CLIENT	20 APR 17
3	REVISED FOR LAND USE BUREAU	27 APR 17
4	REVISED FOR PERMITTING	27 APR 17
5	REVISED FOR PERMITTING	27 APR 17
6	REVISED FOR PERMITTING	27 APR 17
7	REVISED FOR PERMITTING	27 APR 17

**WOODLAND PACIFIC LLC, STRAND/BRC GROUP, LLC & WALTER WHEELER DRIVE SPE, LLC**  
 1 ELMCROFT ROAD, SUITE 500  
 STAMFORD, CT 06902

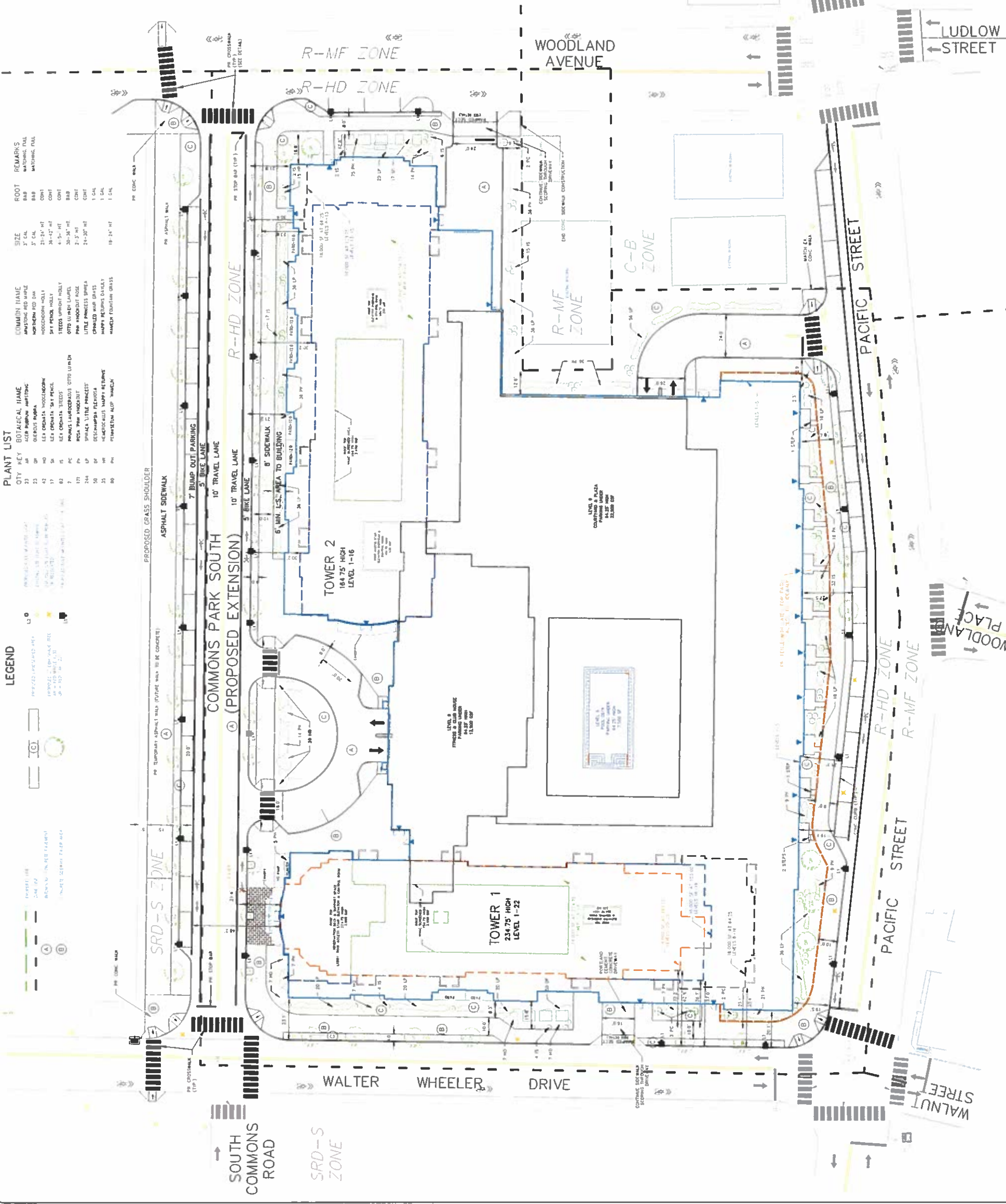
**WOODLAND PACIFIC**  
 WOODLAND AVENUE, PACIFIC STREET & WALTER WHEELER DRIVE

**Civil C1**  
 REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT  
 STATE OF CONNECTICUT  
 LICENSE NO. 12417  
 EXPIRES 12/31/2017

**WOODLAND PACIFIC**  
 WOODLAND AVENUE, PACIFIC STREET & WALTER WHEELER DRIVE

**WOODLAND PACIFIC**  
 WOODLAND AVENUE, PACIFIC STREET & WALTER WHEELER DRIVE

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 WOODLAND AVENUE, PACIFIC STREET & WALTER WHEELER DRIVE



Amended - General Development Plan

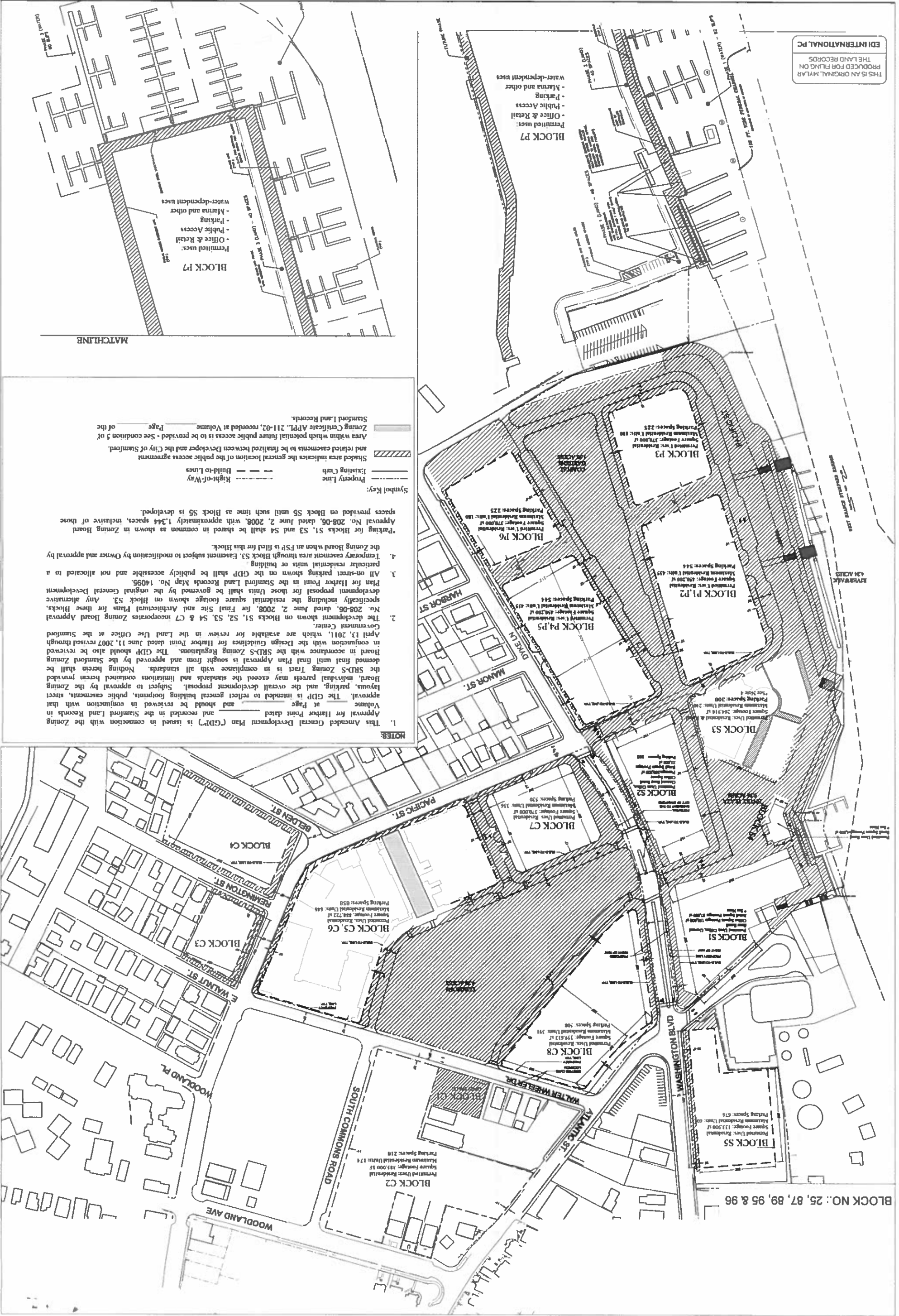
January 25, 2011  
Revised June 1, 2011  
Revised May 2007, 2014 by EDI International PC  
Revised December 2015 by EDI International PC  
Revised March 7th 2016 by EDI International PC  
Revised August 2nd 2016 by EDI International PC  
Revised August 16, 2018 by EDI International PC



Approved for submission and filing  
On \_\_\_\_\_ By \_\_\_\_\_  
Approved by the Stamford Planning Board  
for filing purposes - Not a subdivision  
On \_\_\_\_\_ By \_\_\_\_\_

SIGNATURE BLOCK

EDI INTERNATIONAL PC  
THIS IS AN ORIGINAL PLAN  
PRODUCED FOR FILING ON  
THE LAND RECORDS



**Symbol Key:**  
 - Existing Curb  
 - Property Line  
 - Right-of-Way  
 - Build-to-Line  
 - Shaded area indicates the general location of the public access agreement and related easements to be finalized between Developer and the City of Stamford.  
 - Area within which potential future public access is to be provided - See condition 5 of Zoning Certificate APPL. 211-07, recorded at Volume \_\_\_\_\_ Page \_\_\_\_\_ of the Stamford Land Records.

**NOTES:**  
 1. This Amended General Development Plan (GDP) is used in connection with the Zoning Approval for Harbor Point dated \_\_\_\_\_ and recorded in the Stamford Land Records in Volume \_\_\_\_\_ at Page \_\_\_\_\_ and should be reviewed in conjunction with that approval. The GDP is intended to reflect general building footprints, public easements, street layouts, parking, and the overall development proposal. Subject to approval by the Zoning Board, individual parcels may exceed the standards and limitations contained herein provided the SRD-5 Zoning Tract is in compliance with all standards. Nothing herein shall be deemed final until final Plan Approval is sought from and approved by the Stamford Zoning Board in accordance with the SRD-5 Zoning Regulations. The GDP should also be reviewed in conjunction with the Design Guidelines for Harbor Point dated June 11, 2007 revised through April 13, 2011, which are available for review in the Land Use Office at the Stamford Government Center.  
 2. The development shown on Blocks S1, S2, S3, S4 & C7 incorporates Zoning Board Approval No. 208-06, dated June 2, 2008, for Final Site and Architectural Plans for these Blocks, specifically including the residential square footage shown on Block S3. Any alternative Plan for Harbor Point in the Stamford Land Records Map No. 14095.  
 3. All on-street parking shown on the GDP shall be publicly accessible and not allocated to a particular residential unit or building.  
 4. Temporary easement area through Block S3. Easement subject to modification by Owner and approval by the Zoning Board when an FSF is filed for this Block.  
 Parking for Blocks S1, S3 and S4 shall be shared in common as shown in Zoning Board Approval No. 208-06, dated June 2, 2008, with approximately 1,344 spaces, inclusive of those spaces provided on Block S5 until such time as Block S5 is developed.

MATCHLINE